

WEDNESDAY, JUNE 14, 2023 | 6:00 P.M.

The Planning and Zoning Commission will meet in a regular session on Wednesday, June 14, 2023, at 6:00 p.m. in the City Council Chambers, 9400 Municipal Parkway, Garden Ridge, Texas. This is an open meeting, open to the public, subject to the Open Meetings Law of the State of Texas, and as required by law, notice is hereby posted providing time, place, date, and agenda thereof. The meeting facility is wheelchair accessible and accessible parking spaces are provided. Requests for accommodations or interpretative services must be made to the City Secretary 48 hours prior to this meeting.

1. Call to Order/Roll Call**2. Pledge of Allegiance****3. Citizen Comment Period – limited to 30 minutes total**

Rules for Citizens' Participation: The Commission welcomes citizen participation and comments at all Commission Meetings. If you speak, you must follow these guidelines:

a) Respect and courtesy:

1. Direct your comments to the entire Commission, not to an individual member, nor to the audience.
2. Show the Commission the same respect that you would like to be shown.
3. End your speaking at the time allotted below.

b) Speaking:**1. First citizen comment period.**

- 1.1. You are required to sign up to speak and you are limited to one 3-minute period.

2. Second citizen comment period.

- 2.1. You are not required to sign up and you are limited to one 2-minute period.

3. State your name and address before your comments begin.**4. You are only allowed to speak once per topic, unless also speaking during a posted Public Hearing.**

NOTE: The Texas Open Meetings Act permits a member of the public or a member of the governmental body to raise a subject that has not been included in the notice for the meeting. However, any discussion of the subject must be limited to a proposal to place the subject on the agenda for a future meeting and any response to a question posed to the City Council is limited to either a statement of specific factual information or a recitation of existing policy. TEX. GOV'T CODE § 551.042.

4. Business Items

The following items are for discussion, consideration, and action.

- a) Approval of Minutes for May 10, 2023, Planning and Zoning Commission Regular Meeting.
- b) Master Development Plan for Eric T. Fischer project, Sinners & Saints, to be located at 19186 FM 2252, composed of a 1.4-acre parcel and a 1.7-acre parcel south of 19295 FM 2252 in Garden Ridge, Texas.
 1. Discuss and make a recommendation.
- c) Items applicable to the Planning and Zoning Commission discussed at City Council meetings.
- d) Planning and Zoning Commission Duties and Responsibilities.
- e) Future Agenda Items.
 1. Commissioners input on agenda items.
 2. Announce date, time, and location for next meeting (July 12, 2023, at 6:00 p.m. at City Hall).

5. Citizen Comment Period – limited to 20 minutes total

See "Rules for Citizens' Participation" under Item 3.

6. Adjournment

AGENDA NOTICES:

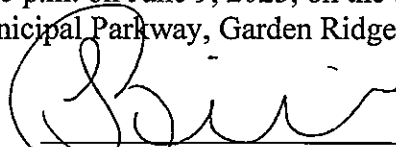
Decorum Required: Any disruptive behavior, including shouting or derogatory statements or comments may be ruled out of order by the Presiding Officer. Continuation of this type of behavior could result in a request by the Presiding Officer that the individual leave the meeting, and if refused, an order of removal.

Action by Council Authorized: The Council may vote or act upon any item within this Agenda. The Council reserves the right to adjourn into closed session at any time during the course of this meeting to discuss any of the matters listed above, as authorized by Title 5, Chapter 551, of the Texas Government Code.

Executive Sessions Authorized: This agenda has been reviewed and approved by the City's legal counsel and the presence of any subject in any Executive Session portion of the agenda constitutes a written interpretation of Texas Government Code Chapter 551 by legal counsel for the governmental body and constitutes an opinion by the attorney that the items discussed therein may be legally discussed in the closed portion of the meeting considering available opinions of a court of record and opinions of the Texas Attorney General known to the attorney. This provision has been added to this agenda with the intent to meet all elements necessary to satisfy Texas Government Code Chapter 551.144(c) and the meeting is conducted by all participants in reliance on this opinion.

Attendance By Other Elected or Appointed Officials: It is anticipated that members of the other city boards, commissions and/or committees may attend the meeting in numbers that may constitute a quorum of the other city boards, commissions and/or committees. Notice is hereby given that the meeting, to the extent required by law, is also noticed as a meeting of the City Council, other boards, commissions and/or committees of the City, whose members may be in attendance. The members of the boards, commissions and/or committees may participate in discussions on the same items listed on the agenda, which occur at the meeting, but no action will be taken by such in attendance unless such item and action are specifically provided for on an agenda for that board, commission, or committee subject to the Texas Open Meetings Act.

This is to certify that I, Courtney Billi, posted this Agenda at 12:00 p.m. on June 9, 2023, on the bulletin board located at the entrance to Garden Ridge City Hall, 9400 Municipal Parkway, Garden Ridge, Texas.



Courtney Billi
Assistant City Secretary

WEDNESDAY, MAY 10, 2023 | 6:00 P.M.

Commissioners Present:

Chair Karen Diaz
Vice-Chair Kerim Jacaman
Commissioner Dr. Jim Miller
Commissioner Michael Crow
Commissioner Roy Leatherberry
Commissioner Darren Bates
Commissioner Joe Maloney

Commissioners Absent: None

City Staff and City Councilmembers Present:

Nancy Cain, City Administrator
Marisa Spencer, City Secretary
Courtney Billi, Assistant City Secretary/Communications Specialist
Cynthia Trevino, City Attorney
Mayor Robb Erickson
Councilmember Jesús Valdez
Councilmember Kay Bower

1. Call to Order

With a quorum of the Planning and Zoning Commissioners present, Chair Diaz called the regular meeting of the Garden Ridge Planning and Zoning Commission to order at 6:00 p.m. on Wednesday, May 10, 2023, in the City Council Chambers of Garden Ridge City Hall, 9400 Municipal Parkway, Garden Ridge, Texas 78266.

2. Roll Call: See above.

3. Pledge of Allegiance: Chair Diaz led the Pledge of Allegiance.

4. Citizen Comment Period: No one signed up to speak.

5. Business Items

The following items are for discussion, consideration, and action.

a) Approval of Minutes for November 9, 2022, Planning and Zoning Commission Regular Meeting.

Motion: A motion was made by Vice-Chair Jacaman, seconded by Commissioner Bates, to approve the Minutes for November 9, 2022, Planning and Zoning Commission Regular Meeting. The Commission voted six (6) for and none (0) opposed. The motion carried unanimously.

b) Petition by Eric T. Fischer for rezoning from Resident-Agriculture (RA) District also known as Agriculture and Agricultural Homestead (AG) District to Neighborhood Service (B-1) District also known as Community Commercial (CC) District, on a 1.707 acre tract of land out of the George M. Dolson Survey 96, Abstract 120, Comal County, Texas, and being out of a called 1.734 acre tract described in Document No. 201406013130 of the Official Public Records of Comal County, Texas. The property is located adjacent to FM 2252 south of 19295 FM 2252 in Garden Ridge, Texas.

1. Applicant Presentation.

Eric Fischer presented his petition for rezoning from Resident-Agriculture (RA) District also known as Agriculture and Agricultural Homestead (AG) District to Neighborhood Service (B-1) District also known as Community Commercial (CC) District.

2. Hold a Public Hearing.

Chair Diaz opened the public hearing at 6:05 p.m.

No one wished to speak and City Secretary Marisa Spencer stated no written comments were submitted.

Chair Diaz closed the public hearing at 6:05 p.m.

3. Discuss and take action.

Motion: A motion was made by Vice-Chair Jacaman, seconded by Commissioner Bates, to recommend to City Council approval of the petition by Eric T. Fischer for rezoning from Resident-Agriculture (RA) District also known as Agriculture and Agricultural Homestead (AG) District to Neighborhood Service (B-1) District also known as Community Commercial (CC) District, on a 1.707 acre tract of land out of the George M. Dolson Survey 96, Abstract 120, Comal County, Texas, and being out of a called 1.734 acre tract described in Document No. 201406013130 of the Official Public Records of Comal County, Texas, and adjacent to FM 2252 south of 19295 FM 2252 in Garden Ridge, Texas. The Commission voted six (6) for and none (0) opposed. The motion carried unanimously.

- c) Petition by Guadalupe Ready Mix c/o Jeffrey L. Earl, Attorney for Applicant, for the issuance of a Special Use Permit for construction and operation of a concrete batch plant, on seven and one-half (7.5) acres leased out of A-671 SUR-95 E Woodruff, Acres 34.083, owned by Lehigh Hanson Materials South, LLC. The property is zoned Industrial Zone (Z-1) District also known as Heavy Industrial (HI) District and located at 20762 FM 2252, Garden Ridge, Texas.**

1. Applicant Presentation.

The Applicant was not in attendance; therefore, City Administrator Nancy Cain spoke regarding the petition by Guadalupe Ready Mix c/o Jeffrey L. Earl, Attorney for Applicant, for the issuance of a Special Use Permit for construction and operation of a concrete batch plant.

2. Hold a Public Hearing.

Chair Diaz opened the public hearing at 6:14 p.m.

One (1) citizen spoke regarding the petition and City Secretary Marisa Spencer read one (1) written comment submitted (see attached).

Chair Diaz closed the public hearing at 6:19 p.m.

3. Discuss and take action.

The Commission discussed the Application for Special Use Permit and related Attachments and Exhibits. The Commission discussed the submitted site plan not complying with regulations contained in Ordinance No. 13-122018 related to the maximum height of structures, screening regulations, and impervious cover regulations.

Motion: A motion was made by Vice-Chair Jacaman, seconded by Commissioner Leatherberry, to recommend to City Council denial of the petition as submitted by Guadalupe Ready Mix c/o Jeffrey L. Earl, Attorney for Applicant, for the issuance of a Special Use Permit for construction and operation of a concrete batch plant on seven and one-half (7.5) acres owned by Lehigh Hanson Materials South, LLC, and located at 20762 FM 2252, due to the submitted site plan not complying with regulations contained in Ordinance No. 13-122018 related to the maximum height of structures, screening requirements, and impervious cover regulations. The Commission voted six (6) for and none (0) opposed. The motion carried unanimously.

d) Items applicable to the Planning and Zoning Commission discussed at City Council meetings.

Chair Diaz provided the Commission with an update on items applicable to the Planning and Zoning Commission discussed at City Council Meetings.

e) Planning and Zoning Commission Activities and Projects.

1. Alternate Compliance Options as it relates to Impervious Cover (Crow and Bates).

The Commission discussed removing this item from the agenda.

f) Future Agenda Items.

1. Commissioners input on agenda items.

Commissioner Dr. Miller requested to discuss the Planning and Zoning Commission's duties and responsibilities.

2. Announce date, time, and location for next meeting (June 14, 2023, at 6:00 p.m. at City Hall).

Chair Diaz stated the next Planning and Zoning Commission Regular Meeting is scheduled for Wednesday, June 14, 2023, at 6:00 p.m. at City Hall.

6. Citizen Comment Period

No one wished to speak.

7. Adjournment

Motion: A motion was made by Commissioner Bates, seconded by Commissioner Crow, to adjourn. The Commission voted six (6) for and none (0) opposed. The motion carried unanimously. There being no further business, the Wednesday, May 10, 2023, Planning and Zoning Commission Regular Meeting was adjourned at 6:31 p.m. by Chair Diaz.

ATTEST:

Karen Diaz
Chair

Marisa Spencer
City Secretary

MAY 10, 2023, PLANNING AND ZONING COMMISSION REGULAR MEETING

PUBLIC HEARING—GUADALUPE READY MIX SPECIAL USE PERMIT

PLEASE WRITE YOUR NAME AND ADDRESS.

1. Dawn Hatch 8377 Twisted Oaks
2. Janice West Rose 20469 FM 2252
- 3.
- 4.
- 5.
- 6.
- 7.
- 8.
- 9.
- 10.
- 11.
- 12.
- 13.
- 14.
- 15.
- 16.
- 17.
- 18.
- 19.
- 20.

SINNERS & SAINTS

19186 FM 2252 - GARDEN RIDGE, TX 78266

SHEET INDEX

GENERAL

G1.0	GENERAL NOTES
G2.0	ADA DETAILS
G2.0	ADA DETAILS
G4.0	MISCELLANEOUS DETAILS

SURVEY

BOUNDARY, TOPOGRAPHIC, & TREE SURVEY

ARCHITECTURAL

A1.0	FLOOR PLANS
A1.1	FLOOR PLANS
A2.0	RENDERINGS

CIVIL

C1.0	PROPOSED SITE PLAN
G2.0	GRADING PLAN
G3.0	STORM-WATER POLLUTION PREVENTION PLAN
G4.0	STORM-WATER POLLUTION PREVENTION DETAILS
G5.0	GENERAL CONSTRUCTION DETAILS

STRUCTURAL

FOUNDATION

S1.0	FOUNDATION PLAN
S2.0	FOUNDATION DETAILS

FRAMING

S3.0	FOUNDATION PLAN
S4.0	FOUNDATION DETAILS

ELECTRICAL

E1.0	ELECTRICAL PLAN - INTERIOR
E1.1	ELECTRICAL PLAN - EXTERIOR
E1.0	ELECTRICAL FLOOR PLAN - LIGHTING
E1.1	ELECTRICAL FLOOR PLAN - POWER
E2.0	ELECTRICAL ONE-LINE RISER DIAGRAM
E3.0	ELECTRICAL SPECIFICATIONS

MECHANICAL

M1.0	MECHANICAL FLOOR PLAN
M2.0	MECHANICAL SCHEDULES AND SPECIFICATIONS
M3.0	MECHANICAL DETAILS

PLUMBING

P1.0	PLUMBING FLOOR PLAN - SANITARY SEWER
P2.0	PLUMBING FLOOR PLAN - DOMESTIC WATER
P3.0	PLUMBING SCHEDULES AND DETAILS
P4.0	PLUMBING SPECIFICATIONS

PROJECT TEAM

DESIGN CONSULTANT: LAJAS PROJECT RESOURCE GROUP
P.O. BOX 310394
NEW BRAUNFELS, TX 78130

CONTRACTOR: TBD

PROJECT INFORMATION

OWNER:
ROCKEM REALTY LLC

SCOPE OF WORK:
COMMERCIAL DEVELOPMENT

BUILDING CODE:
2018 INTERNATIONAL BUILDING CODE
2018 INTERNATIONAL ENERGY CONSERVATION CODE
2017 NATIONAL ELECTRIC CODE
2012 TEXAS ACCESSIBILITY CODE
2018 INTERNATIONAL MECHANICAL CODE
2018 INTERNATIONAL PLUMBING CODE
2018 INTERNATIONAL FIRE CODE
WITH CITY OF NEW BRAUNFELS AMENDMENTS
2009 ICC A1171.1

CONSTRUCTION TYPE:
OCCUPANCY GROUP:
TOTAL AREA:
OCCUPANT LOAD:

SEPARATED OCCUPANCY
NON-SPRINKLED
FIRE EXTINGUISHERS
TYPE 10B SHALL BE PROVIDED IN OFFICE AREA
& WAREHOUSE.

PLUMBING FIXTURE REQUIREMENTS:
WATER CLOSETS

LAVATORIES

SERVICE SINK

GENERAL PROJECT NOTES

IN CASE OF DISCREPANCIES OR CONFLICTS ON THE DRAWINGS AND SPECIFICATIONS, OR BETWEEN THE DRAWINGS AND THE EXISTING CONDITIONS, CONTACT THE DESIGNER OR OWNER BEFORE PROCEEDING WITH THE WORK.

ANY DISCREPANCIES IN CONSTRUCTION DOCUMENTS OR NONCOMPLIANCE TO BE BROUGHT TO THE ATTENTION OF THE DESIGNER PRIOR TO ANY WORK BEING PERFORMED OR MATERIALS BEING ORDERED.

BUILDER ACCEPTS FULL RESPONSIBILITY FOR CHECKING PLANS TO ASSURE CONFORMITY TO CURRENT LOCAL BUILDING CODES. SHOULD ANY CHANGES BE MADE TO THESE PLANS BY BUILDER OR HIS REPRESENTATIVES WITHOUT CONTACTING THE DESIGNER, THE BUILDER WILL ACCEPT FULL LIABILITY FOR AMENDED PLANS.

WHILE THESE DRAWINGS ARE INTENDED TO SHOW SAME, THE DESIGNER IS NOT RESPONSIBLE FOR GOVERNING AUTHORITY INTERPRETATIONS WHERE THOSE INTERPRETATIONS CONFLICT WITH THESE DRAWINGS &/OR SPECS.

DESIGNER ASSUMES NO RESPONSIBILITY FOR ANY ERRORS OR NEGLIGENCE MADE BY ROOFING CONTRACTOR, CONCERNING FLASHING & WATER PROOFING ON THIS PROJECT.

THESE DOCUMENTS DO NOT SPECIFY ACTUAL PRODUCTS OR MATERIAL SELECTIONS. CONTRACTOR ACCEPTS FULL RESPONSIBILITY FOR APPROPRIATE AND PROPER DETAILING FOR AND BETWEEN ALL ACTUAL PRODUCTS/MATERIALS SELECTED WHEN INSTALLED.

DESIGNER IS NOT RESPONSIBLE FOR MEANS AND METHODS OF CONSTRUCTION WHICH ARE NOT DETAILED IN THESE CONSTRUCTION DOCUMENTS. CONTRACTOR WILL BE RESPONSIBLE FOR ALL ASPECTS OF CONSTRUCTION INCLUDING BUT NOT LIMITED TO ALL WATER AND DAMP PROOFING, LOAD CONNECTIONS AND MECHANICAL, ELECTRICAL AND PLUMBING SYSTEMS.

THESE DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. THE CONTRACTOR IS RESPONSIBLE FOR INITIATING, MAINTAINING AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS NECESSARY FOR COMPLETION OF WORK.

ALL DIMENSIONS TO BE VERIFIED IN THE FIELD. REPORT ANY AND ALL DISCREPANCIES, ERRORS OR OMISSIONS TO THE DESIGNER PRIOR TO COMMENCING WORK AND/OR ORDERING MATERIALS. MINOR DEVIATIONS, SUBJECT TO CONSTRUCTION REQUIREMENTS AND FIELD CONDITIONS, CAN BE EXPECTED.

THE CONTRACTOR SHALL GIVE NOTICE TO ALL AUTHORIZED INSPECTORS, SUPERINTENDENTS OR PERSONS IN CHARGE OF UTILITIES AFFECTED BY HIS OPERATIONS PRIOR TO COMMENCING WORK.

THESE DRAWINGS/SPECS ARE INSTRUMENTS OF SERVICE AND SHALL REMAIN THE PROPERTY OF THE DESIGNER WHETHER THE PROJECT IS EXECUTED OR NOT. THESE DRAWINGS SHALL NOT BE USED BY THE CLIENT FOR OTHER PROJECTS, FOR ADDITIONS TO THIS PROJECT, OR FOR COMPLETION OF THIS PROJECT BY OTHERS WITHOUT PERMISSION OF THIS DESIGNER.

VERIFY EXISTING CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION START.

THE CONTRACTOR IS TO FILE FOR, AND SECURE ALL APPROVALS, PERMITS, TESTS, INSPECTIONS AND CERTIFICATES OF COMPLIANCE AS REQUIRED. THE CONTRACTOR IS RESPONSIBLE FOR ASSURING THAT ALL PERMITS NECESSARY TO LEGALLY PERFORM THE WORK HAVE BEEN OBTAINED PRIOR TO COMMENCING CONSTRUCTION.

ELECTRICAL SUBCONTRACTOR TO MAKE ALL NECESSARY ELEC. CONNECTIONS AND BE RESPONSIBLE FOR ALL ELECTRICAL SERVICE AT MECHANICAL ROOM. ELECTRICAL CONTRACTOR TO COORDINATE AS REQUIRED WITH MECHANICAL SUBCONTRACTOR.

THE DROP FROM INTERIOR FINISH FLOOR TO ANY EXTERIOR FINISH FLOOR IS TO BE A MINIMUM OF 1 1/2". CONTRACTOR TO VERIFY MATERIALS USED FOR DECK CONSTRUCTION AND FINISH FLOORING TO MAINTAIN MINIMUM DROP. PROVIDE BLOCKING FOR HANDRAIL MOUNTING AT STAIRS AS NECESSARY.

WHEN ENGINEERED TRUSSES TO BE USED TRUSS DESIGN & SPACING TO BE PER ENGINEER'S SPECIFICATIONS.

THE DESIGN & SIZING OF ALL LOAD BEARING HEADERS, STRUCTURAL BEAMS AND TRUSSES IS THE RESPONSIBILITY OF THE AGENT (ENGINEER/TRUSS MANUFACTURER, ETC.) CHOSEN BY THE BUILDER/OWNER TO DO SAID DESIGN.

LAVATORIES AND SINKS SHOWN ARE NOT ACTUAL FIXTURE. CHECK WITH BUILDER/DESIGNER/OWNER FOR ACTUAL FIXTURE STYLE AND SIZE.

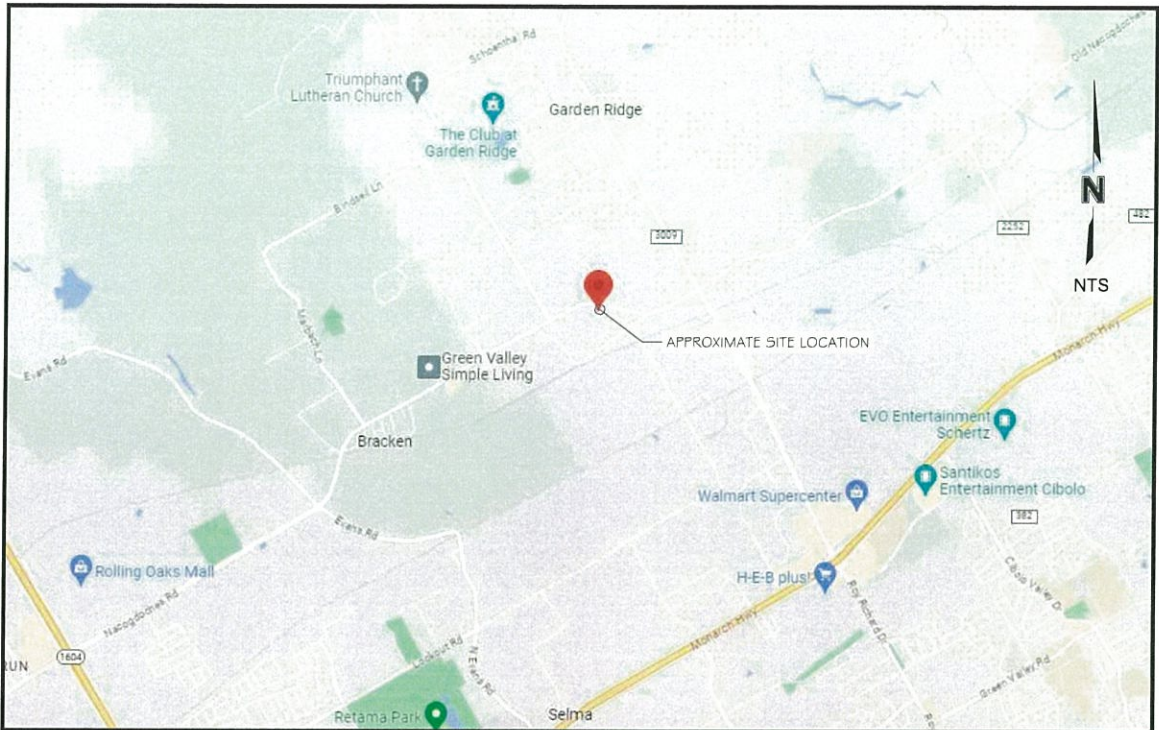
APPLIANCE DIMENSIONS MAY VARY. CHECK WITH BUILDER FOR EXACT DIMENSIONS.

ALL WORK DONE UNDER THIS SECTION SHALL COMPLY WITH THE CURRENT NATIONAL ELECTRICAL CODE AND LOCAL CODE REGULATIONS. THE CONTRACTOR SHALL PERFORM ALL WORK IN CONFORMITY WITH THESE REGULATIONS WHETHER OR NOT SUCH WORK IS SPECIFICALLY SHOWN ON DRAWINGS.

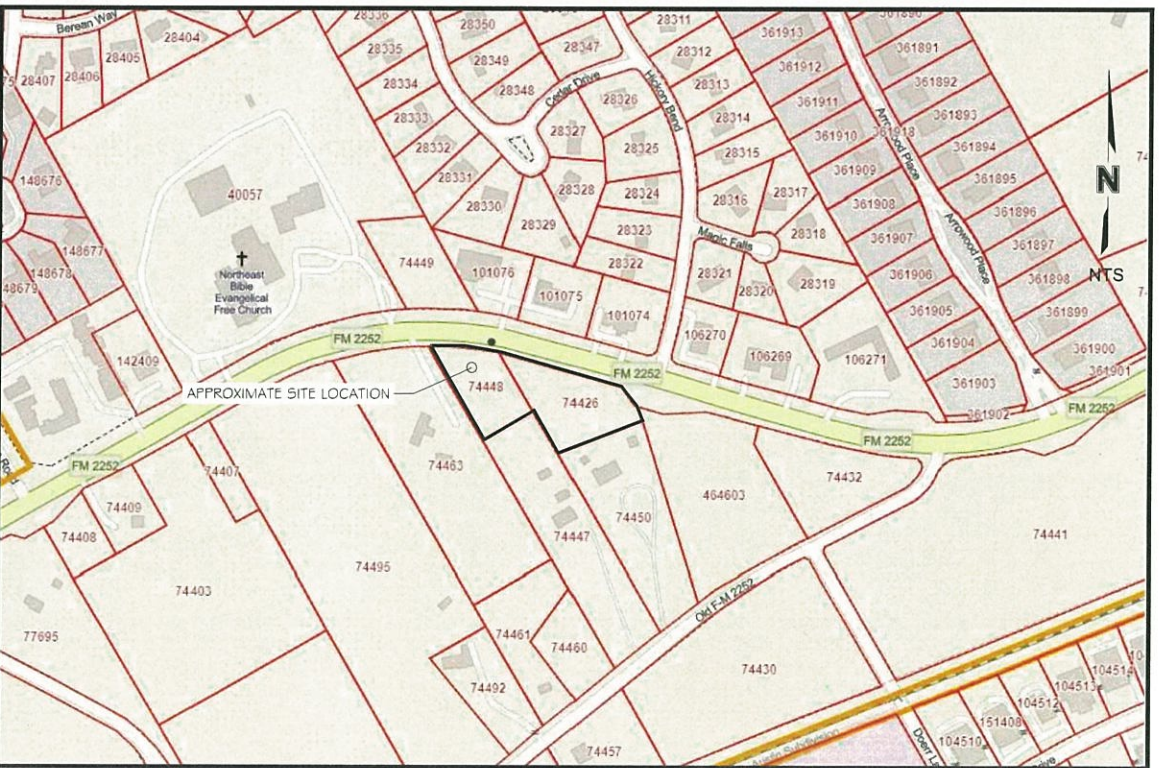
HVAC SYSTEM SHALL BE DESIGNED BY MECHANICAL SUB-CONTRACTOR AND APPROVED BY GENERAL CONTRACTOR.

DIMENSIONS SHOWN DO NOT ACCOUNT FOR INTERIOR OR EXTERIOR SHEETROCK AND/OR SIDING.

TILE WORK AND WATERPROOFING TO BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.



VICINITY MAP



LOCATION MAP

GENERAL NOTES:

1. THE EXISTING UTILITY LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND MAY NOT INCLUDE ALL LINES PRESENT. THE CONTRACTOR SHALL BE RESPONSIBLE TO CALL "1-800-DIG-SAFE", 1(800)344-7233 OR 811 AND COORDINATE FIELD LOCATION OF EXISTING UNDERGROUND UTILITIES PRIOR TO BEGINNING GRADING ACTIVITIES. !STOP!! CALL BEFORE YOU DIG!!

2. THE CONTRACTOR SHALL NOT CHANGE OR DEViate FROM THE PLANS WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM THE OWNER AND ENGINEER.

3. ALL WORK AND MATERIALS SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE OWNER OR THE OWNER'S REPRESENTATIVE.

4. ALL ESTIMATES OF QUANTITIES ARE FOR INFORMATION PURPOSES ONLY. CONTRACTOR AND SUBCONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING ALL QUANTITIES AND FOR BRINGING THE PROJECT TO THE LINES AND GRADES SHOWN HEREIN. CONTRACTOR SHALL PROVIDE ALL WORK AND MATERIALS REQUIRED TO FULFILL THE PLANS IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE EARTHWORK QUANTITIES AND TO ACCOUNT FOR HAUL IN OR HAUL OFF OF MATERIAL AS NECESSARY TO MEET THE LINES AND GRADES OF THE PLANS EVEN IF QUANTITY ESTIMATES ARE SHOWN WITHIN THESE DOCUMENTS. NO ADDITIONAL PAYMENTS WILL BE MADE FOR IMPORT OR EXPORT OF MATERIAL OR FOR ADJUSTMENTS TO QUANTITY ESTIMATES.

5. ALL CONSTRUCTION SHALL CONFORM TO THE LATEST STANDARDS AND SPECIFICATIONS OF THE CITY, COUNTY, AND/OR DEPARTMENT OF TRANSPORTATION EXCEPT WHERE SHOWN OTHERWISE. NOTIFY ENGINEER OF DISCREPANCIES.

6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS, PAYING ALL FEES AND FOR OTHERWISE COMPLYING WITH ALL APPLICABLE REGULATIONS GOVERNING THE WORK.

7. PRIOR TO COMMENCEMENT OF WORK, THE CONTRACTOR SHALL NOTIFY ALL THOSE COMPANIES WHICH HAVE FACILITIES IN THE NEAR VICINITY OF THE CONSTRUCTION TO BE PERFORMED.

8. THE CONTRACTOR SHALL PROTECT ALL MAJOR TREES FROM DAMAGE. NO TREE SHALL BE REMOVED WITHOUT PERMISSION OF THE OWNER, UNLESS SHOWN OTHERWISE ON THESE PLANS.

9. CLEARING AND GRUBBING OPERATIONS AND DISPOSAL OF ALL DEBRIS THEREFROM SHALL BE PERFORMED BY THE CONTRACTOR IN STRICT ACCORDANCE WITH ALL LOCAL CODES AND ORDINANCES.

10. ALL WASTE MATERIAL RESULTING FROM THE PROJECT SHALL BE DISPOSED OF OFF-SITE BY THE CONTRACTOR.

11. ALL UTILITY EXTENSIONS AND CONSTRUCTION SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE APPLICABLE UTILITY COMPANIES.

12. ALL MANHOLES, CATCH BASINS, UTILITY VALVES AND METER PITS ARE TO BE ADJUSTED OR REBUILT TO GRADE AS REQUIRED.

13. ALL DISTURBED AREAS SHALL BE LANDSCAPED, SEEDED OR SODDED, AS SHOWN ON THE LANDSCAPE PLAN.

14. HANDICAP PARKING STALLS SHALL BE SIGNED WITH CITY/ADA APPROVED SIGN AND CONSTRUCTED IN STRICT ACCORDANCE WITH CITY/ADA STANDARDS AND SHALL NOT EXCEED 2.00 PERCENT IN ANY DIRECTION. ACCESSIBLE SIDEWALKS HAVE A MAXIMUM CROSS SLOPE OF 2 PERCENT AND A MAXIMUM LONGITUDINAL SLOPE OF 5 PERCENT.

15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTROL OF SURFACE EROSION DURING CONSTRUCTION AND UNTIL THE OWNER ACCEPTS THE WORK AS COMPLETE. EROSION CONTROL MEASURES INCLUDING, BUT NOT LIMITED TO, THE SILT FENCES AND GRAVEL FILTER BAGS SHOWN ON THE EROSION CONTROL PLAN SHALL BE IN PLACE FOR THE DURATION OF THE SITE IMPROVEMENTS.

16. ALL HDPE PIPE SHALL BE ADS (N-12) OR APPROVED EQUAL, AND CONFORM TO AASHTO M294 SPECIFICATIONS. ALL PIPE LENGTHS ARE MEASURED FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE.

17. IF PRECAST CONCRETE STORM SEWER STRUCTURES ARE TO BE USED ON THIS PROJECT, THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS AND HAVE THEM APPROVED BY THE ENGINEER PRIOR TO FABRICATION OF THE STRUCTURES. FAILURE TO DO SO SHALL BE CAUSE FOR REJECTION.

18. EXISTING TOPSOIL SHALL BE STRIPPED TO A POINT WHERE ALL VEGETATION IS REMOVED. REFER TO THE GEOTECHNICAL REPORT AND ALL ADDENDUMS FOR ADDITIONAL REQUIREMENTS.

19. THE CONTRACTOR SHALL, BY HIS OWN INVESTIGATION, AND PRIOR TO COMMENCING WORK, SATISFY HIMSELF AS TO THE SURFACE AND SUBSURFACE CONDITIONS TO BE ENCOUNTERED.

20. ALL WATER LINES SHALL BE INSTALLED PER UTILITY PROVIDER STANDARDS AND SPECIFICATIONS. ALL WATER LINES SHALL BE A MINIMUM OF 48 INCHES BELOW THE FINISHED GRADE ELEVATIONS SHOWN HEREIN, UNLESS NOTED OTHERWISE.

21. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL BOUNDARY CORNERS AND SECTION CORNERS. ANY BOUNDARY CORNER AND/OR SECTION CORNER DISTURBED OR DAMAGED BY CONSTRUCTION ACTIVITIES SHALL BE RESET BY A LAND SURVEYOR LICENSED IN THE STATE OF TEXAS, AT THE CONTRACTOR'S EXPENSE.

22. NO FEDERALLY OWNED MAILBOX MAY BE DISTURBED. THE CONTRACTOR SHALL GIVE AT LEAST TWENTY-FOUR (24) HOURS ADVANCE NOTICE TO THE MANAGER OF DELIVERY AND COLLECTION. TAMPERING WITH FEDERAL MAIL FACILITIES MAY SUBJECT THE CONTRACTOR TO PROSECUTION BY THE FEDERAL GOVERNMENT.

23. THE CONTOUR LINES, SPOT ELEVATIONS AND BUILDING FLOOR ELEVATIONS SHOWN ARE TO FINISH GRADE FOR SURFACE OF PAVEMENT, TOP OF SIDEWALKS AND CURBS, TOP OF FLOOR SLABS, ETC. REFER TO TYPICAL SECTIONS FOR PAVING SLAB AND AGGREGATE BASE THICKNESS TO DEDUCT FOR GRADING LINE ELEVATIONS.

24. THE CONTRACTOR SHALL FINISH GRADE SLOPES AS SHOWN NO STEEPER THAN 1 FOOT VERTICAL IN 3 FEET HORIZONTAL.

25. THE CONTRACTOR SHALL GRADE LANDSCAPED AREAS TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING AND SIDEWALKS WHEN FINISH LANDSCAPE MATERIALS ARE IN PLACE.

26. ALL EXTERIOR CONCRETE SHALL HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 4000 PSI AND BE AIR ENTRAINED. FLYASH IS NOT A SUITABLE REPLACEMENT FOR PORTLAND CEMENT, UNLESS STATED OTHERWISE WITHIN THE PLANS AND SPECIFICATIONS.
27. ALL ON-SITE WRING AND CABLES SHALL BE PLACED UNDERGROUND.

28. THE CONTRACTOR SHALL MAKE HIS OWN ASSUMPTIONS ON THE LOCATION AND CONSISTENCY OF ANY EXISTING ROCK LAYERS UNDERLYING THE PROJECT SITE. ALL ROCK EXCAVATION AND REMOVAL SHALL BE INCLUDED IN THE CONTRACTORS' BID.

29. SITE PREPARATION, GRADING AND EXCAVATION PROCEDURES SHALL CONFORM TO THE RECOMMENDATIONS AS OUTLINED IN THE GEOTECHNICAL REPORT AND ALL ADDENDUMS.

30. CONCRETE PAVEMENT JOINTS SHALL BE CONSTRUCTED AS FOLLOWS (REFER TO HARDSCAPE PLANS FOR SPECIFIC TREATMENT OF THESE AREAS):

A. LONGITUDINAL CONSTRUCTION JOINTS SPACED AT INTERVALS NOT GREATER THAN 12 FEET, TOOLED TO 1/4 THE SLAB THICKNESS AND OF THE KEYED (TONGUE AND GROOVE) TYPE.

B. TRANSVERSE CONSTRUCTION JOINTS AT THE END OF EACH POUR AND WHEN PAVING OPERATIONS ARE SUSPENDED FOR 30 MINUTES OR MORE AND OF THE KEYED TYPE.

C. TRANSVERSE CONSTRUCTION JOINTS SPACED AT INTERVALS NOT GREATER THAN 15 FEET AND TOOLED TO 1/4 OF THE SLAB THICKNESS.

D. ISOLATION JOINTS PLACED WHERE THE PAVEMENT ABUTS THE BUILDING, DRAINAGE STRUCTURES AND OTHER FIXED STRUCTURES, CONSTRUCTED WITH A 3/4" NONEXTRUDING FILLER, CLOSED-CELL FOAM RUBBER OR A BITUMEN-TREATED FIBER-BOARD, AND WITH A THICKENED EDGE, INCREASED BY 20 PERCENT, TAPERED TO THE REGULAR THICKNESS IN 5 FEET.

E. ALL EXPANSION JOINTS SHALL BE FILLED AND SEALED WITH A PLASTIC JOINT SEALANT MATERIAL.

32. CONTRACTOR TO FIELD VERIFY ELEVATIONS AND LOCATIONS OF EXISTING UTILITIES AND INFRASTRUCTURE PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES BETWEEN PLANS AND FIELD CONDITIONS.

33. TELEPHONE AND COMMUNICATION SERVICE ROUTING AND CONDUITS NOT SHOWN ON PLANS. CONTRACTOR SHALL INSTALL NECESSARY CONDUIT PRIOR TO PAVEMENT INSTALLATION. CONTRACTOR SHALL COORDINATE ROUTING AND INSTALLATION SCOPE WITH SERVICE PROVIDER.

34. BY ACCEPTING AND UTILIZING ANY ELECTRONIC FILE OF ANY DRAWING, REPORT OR DATA TRANSMITTED BY TX2 ENGINEERING (TX2), THE RECIPIENT AGREES FOR ITSELF, ITS SUCCESSORS, ASSIGNS, INSURERS AND ALL THOSE CLAIMING UNDER OR THROUGH IT, THAT BY USING ANY OF THE INFORMATION CONTAINED IN THE ELECTRONIC FILE, ALL USERS AGREE TO BE BOUND BY THE FOLLOWING TERMS. ALL OF THE INFORMATION CONTAINED IN THIS ELECTRONIC FILE IS THE WORK PRODUCT AND INSTRUMENT OF SERVICE OF TX2, WHO SHALL BE DEEMED THE AUTHOR, AND SHALL RETAIN ALL COMMON LAW, STATUTORY LAW AND OTHER RIGHTS, INCLUDING COPYRIGHTS, UNLESS THE SAME HAVE PREVIOUSLY BEEN TRANSFERRED IN WRITING TO THE RECIPIENT. THE INFORMATION CONTAINED IN THE ELECTRONIC FILE IS PROVIDED FOR THE CONVENIENCE OF THE RECIPIENT AND IS PROVIDED IN "AS IS" CONDITION. THE RECIPIENT IS AWARE THAT DIFFERENCES MAY EXIST BETWEEN THE ELECTRONIC FILES AND THE PRINTED HARD-COPY ORIGINAL SIGNED AND SEALED DRAWINGS OR REPORTS. IN THE EVENT OF A CONFLICT BETWEEN THE SIGNED AND SEALED ORIGINAL DOCUMENTS PREPARED BY TX2 AND THE ELECTRONIC FILES TRANSFERRED HEREMITH, THE SIGNED AND SEALED ORIGINAL DOCUMENTS SHALL GOVERN. TX2 SPECIFICALLY DISCLAIMS ALL WARRANTIES, EXPRESSED OR IMPLIED, INCLUDING WITHOUT LIMITATION, ANY WARRANTY OF MERCHANTABILITY OR FITNESS FOR A PARTICULAR PURPOSE WITH RESPECT TO ELECTRONIC FILES. IT SHALL BE THE RECIPIENT'S RESPONSIBILITY TO CONFIRM THE ACCURACY OF THE INFORMATION CONTAINED IN THE ELECTRONIC FILE AND THAT IF ACCURATELY REFLECTS THE INFORMATION NEEDED BY THE RECIPIENT, THE RECIPIENT SHALL NOT RETRANSMIT THE ELECTRONIC FILE, OR ANY PORTION THEREOF, WITHOUT INCLUDING THIS DISCLAIMER AS PART OF ANY SUCH TRANSMISSION. IN ADDITION, THE RECIPIENT AGREES, TO THE FULLEST EXTENT PERMITTED BY LAW, TO INDEMNIFY AND HOLD HARMLESS TX2, ITS OFFICERS, DIRECTORS, EMPLOYEES AND SUBCONSULTANTS AGAINST ANY AND ALL DAMAGES, LIABILITIES, CLAIMS OR COSTS, INCLUDING REASONABLE ATTORNEY'S AND EXPERT WITNESS FEES AND DEFENSE COSTS, ARISING FROM ANY CHANGES MADE BY ANYONE OTHER THAN TX2 OR FROM ANY REUSE OF THE ELECTRONIC FILES WITHOUT THE PRIOR WRITTEN CONSENT OF TX2.

35. DESIGN PROFESSIONAL SHALL REVIEW SHOP DRAWINGS OR SAMPLES FOR GENERAL CONFORMANCE WITH THE DESIGN CONCEPTS ON THE PROJECT AND FOR COMPLIANCE WITH THE INFORMATION GIVEN IN THE CONTRACT DOCUMENTS, AND SHALL NOT EXTEND TO MEANS OR METHODS OF CONSTRUCTION. THE DESIGN PROFESSIONAL'S REVIEW SHALL NOT RELIEVE CONTRACTOR FROM RESPONSIBILITY FOR ANY VARIATION FROM THE REQUIREMENTS OF THE CONTRACT DOCUMENTS UNLESS CONTRACTOR HAS IN WRITING CALLED DESIGN PROFESSIONAL'S ATTENTION TO EACH SUCH VARIATION AT THE TIME OF SUBMISSION, AND DESIGN PROFESSIONAL HAS GIVEN WRITTEN APPROVAL OF EACH SUCH VARIATION BY SPECIFIC WRITTEN NOTATION THEREOF INCORPORATED INTO OR ACCOMPANYING THE SHOP DRAWING OR SAMPLE; NOR WILL ANY APPROVAL BY THE DESIGN PROFESSIONAL RELIEVE CONTRACTOR FROM RESPONSIBILITY FOR ERRORS OR OMISSIONS IN SHOP DRAWINGS WITH CONFORMANCE TO CONTRACT DOCUMENTS.
- BEFORE SUBMITTING EACH SHOP DRAWING OR SAMPLE, CONTRACTOR SHALL HAVE DETERMINED AND VERIFIED:

A. ALL FIELD MEASUREMENTS, QUANTITIES, DIMENSIONS, SPECIFIED PERFORMANCE CRITERIA, INSTALLATION REQUIREMENTS, MATERIALS, CATALOG NUMBERS AND SIMILAR INFORMATION WITH RESPECT THERETO;

B. ALL MATERIALS WITH RESPECT TO INTENDED USE, FABRICATION, SHIPPING, HANDLING, STORAGE, ASSEMBLY AND INSTALLATION PERTAINING TO THE PERFORMANCE OF THE WORK;

C. ALL INFORMATION RELATIVE TO MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES OF CONSTRUCTION AND SAFETY PRECAUTIONS AND PROGRAMS INCIDENT THERETO;

D. CONTRACTOR SHALL ALSO HAVE REVIEWED AND COORDINATED EACH SHOP DRAWING OR SAMPLE WITH OTHER SHOP DRAWINGS AND SAMPLES, AND WITH THE REQUIREMENTS OF THE WORK AND THE CONTRACT DOCUMENTS.

ALL SUBMITTED SHOP DRAWINGS SHALL BEAR A STAMP OR SPECIFIC WRITTEN INDICATION AND SIGNATURE THAT CONTRACTOR HAS FULLY REVIEWED THE SUBMISSION AND CHECKED ALL DATA AND DETAILS. BY CONTRACTOR SIGNATURE, CONTRACTOR CERTIFIES SHOP DRAWING CONFORMANCE AND ACCURACY TO THE CONTRACT DOCUMENTS.

EROSION CONTROL NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE OF ALL EROSION & SEDIMENT CONTROL MEASURES AND PRACTICES THROUGHOUT THE PROJECT. ANY AND ALL FINES ASSOCIATED WITH EROSION CONTROL VIOLATIONS WILL BE THE CONTRACTOR'S RESPONSIBILITY.
2. EROSION CONTROL IS THE CONTRACTOR'S RESPONSIBILITY. THIS PLAN SHOULD BE USED AS A GUIDE AND REPRESENTS THE MINIMUM EROSION CONTROL DEVICES REQUIRED.
3. EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED IF DEEMED NECESSARY BY ON SITE INSPECTION.
4. CONTRACTOR IS RESPONSIBLE FOR INSPECTING AND REPAIRING ALL EROSION AND SEDIMENT CONTROL DEVICES AFTER EACH RAINFALL EVENT.
5. THE CONTRACTOR SHALL PROVIDE ANY FURTHER EROSION CONTROL MEASURES IN ADDITION TO THOSE LISTED TO ENSURE THAT SILT WILL NOT LEAVE THE PROJECT CONFINES.
6. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING THE TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES AFTER COMPLETION OF CONSTRUCTION AND ONLY WHEN AREAS HAVE BEEN STABILIZED WITH A HEALTHY STAND OF PERMANENT VEGETATION.
7. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING SILT FROM SITE IF NOT REUSABLE ON-SITE AND ASSURING PLAN ALIGNMENT AND GRADE IN ALL DITCHES AT COMPLETION OF CONSTRUCTION.
8. THE CONTRACTOR SHALL ENSURE THAT ALL DRAINAGE STRUCTURES, FLUMES, PIPES, ETC. ARE CLEANED OUT AND WORKING PROPERLY AT TIME OF ACCEPTANCE.
9. THE CONTRACTOR SHALL PROVIDE ANY TEMPORARY STABILIZATION AS REQUIRED.
10. THE CONTRACTOR SHALL LEAVE THE EROSION CONTROL DEVICES AROUND ALL FIELD INLETS AT THE COMPLETION OF THE PROJECT.
11. THE CONTRACTOR SHALL PROVIDE AN INGRESS/EGRESS TRACKING PAD FOR VEHICULAR TRAFFIC AT A LOCATION APPROVED BY THE OWNERS REPRESENTATIVE.
12. ALL EROSION CONTROL DEVICES SHALL CONFORM TO THE APPLICABLE SECTIONS OF THE STANDARD SPECIFICATIONS AND DESIGN CRITERIA OF THE ENGINEERING DIVISION, DEPARTMENT OF PUBLIC WORKS, CITY OF KANSAS CITY, KANSAS AND THE KANSAS DEPARTMENT OF HEALTH & ENVIRONMENT, WATER POLLUTION CONTROL DIVISION, MOST CURRENT EDITIONS.
13. AT ANY TIME DURING CONSTRUCTION THE CITY ENGINEER MAY REQUIRE ADDITIONAL EROSION/SILTATION CONTROL MEASURES TO BE INSTALLED IN ORDER TO ADDRESS PROBLEM SITUATIONS OBSERVED ON THE SITE. WHEN REQUIRED SUCH MEASURES SHALL BE INSTALLED WITHIN 48 HOURS OF THE CITY ENGINEER'S VERBAL OR WRITTEN ORDER.
14. PROPOSED CONTOURS SHOWN ARE TO FINISH GRADE AND REFLECT SURFACE ELEVATIONS OF PAVEMENT AND LANDSCAPED AREAS AROUND BUILDINGS. THE CONTRACTOR SHALL ADJUST FOR PAVEMENT AND LANDSCAPED MATERIALS AS REQUIRED.
15. THE CONTRACTOR SHALL PLACE SEED AND TURF REINFORCEMENT EXCELSIOR BLANKETS (OR OTHER APPROVED EQUAL EROSION CONTROL BLANKETS) ON ALL SLOPES 6:1 AND GREATER.
16. SEED ALL DISTURBED AREA PER CITY STANDARDS AND SPECIFICATIONS.

DEMOLITION NOTES

1. CONTRACTOR TO PRESERVE ALL SURVEY CONTROL.
2. CONTRACTOR TO COMPLETE DEMOLITION PER THE INTENT OF THESE PLANS.
3. THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE ENGINEER MAKES NO GUARANTEES THAT THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE ENGINEER HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. THIS INCLUDES PRIVATE AND PUBLIC UTILITIES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT KANSAS ONE CALL AT 1-800-344-7233 IN ADVANCE OF ANY EXCAVATION TO COORDINATE UTILITY LOCATIONS.
4. CONTRACTOR IS REQUIRED TO TAKE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES SHOWN AND ANY OTHER EXISTING LINES NOT OF RECORD OR SHOWN ON THESE PLANS.
5. REMOVAL AND DISPOSAL OF BUSHES AND TREES SMALLER THAN 12" IN DIAMETER SHALL BE CONSIDERED SUBSIDIARY TO THE PRICE BID FOR CLEARING AND GRUBBING.
6. ALL ITEMS REMOVED SHALL BE LEGALLY DISPOSED OFF SITE BY THE CONTRACTOR.
7. DO NOT DISRUPT UTILITY SERVICE TO ADJACENT BUSINESSES OR RESIDENCES WITHOUT PRIOR WRITTEN APPROVAL BY THE ENGINEER.
8. DO NOT DISRUPT TRAFFIC ON ADJACENT PUBLIC STREETS WITHOUT PRIOR WRITTEN APPROVAL BY THE CITY.
9. ALL SIDEWALK AND PAVEMENT TO REMAIN SHALL BE PROTECTED IN PLACE INCLUDING PROTECTION FROM DAMAGE CAUSED BY REMOVAL OF ABUTTING PAVEMENT. CONTRACTOR SHALL SAW CUT WHERE NECESSARY.
10. CONTRACTOR SHALL GIVE NOTICE TO ALL UTILITY COMPANIES REGARDING DISCONNECTION, DEMOLITION, AND REMOVAL OF SERVICE LINES. CAP ALL LINES BEFORE PROCEEDING WITH WORK ON THIS CONTRACT.
11. CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANIES WORK FORCE AND ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES.
12. CONTRACTOR SHALL PROTECT THE PUBLIC AT ALL TIME WITH FENCING, BARRICADES, ENCLOSURES, ETC. TO THE BEST PRACTICES AND AS APPROVED BY THE ENGINEER AND THE CITY.
13. DAMAGE TO ALL EXISTING CONDITIONS TO REMAIN SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
14. DEMOLITION OF BUILDINGS SHALL INCLUDE THE BUILDING STRUCTURE, PAD, FOOTINGS, FOUNDATIONS, BASEMENT WALLS, BASEMENT FLOORS, TRUCK DOCKS, STEPS, DECKS, ALL ITEMS REMAINING IN BUILDING, ALL BUILDING UTILITY SERVICES, SIDEWALKS, AND BACKFILLING AND RESTORING REMAINING EXCAVATIONS, BASEMENTS AND TRENCHES PER SPECIFICATIONS.
15. ALL LIGHT POLE DEMOLITION SHALL INCLUDE FIXTURES, BASES AND WRING.
16. ALL UTILITY DEMOLITION SHALL INCLUDE METERS, MANHOLES AND OTHER STRUCTURES ASSOCIATED WITH THE UTILITY SERVICE LINE.

PAVEMENT MARKING NOTES:

1. PAVEMENT MARKING PAINT: LATEX, WATER-BASE EMULSION, READY-MIXED, COMPLYING WITH FS TT-P-1952 WITH DRYING TIME OF LESS THAN 45 MINUTES.
2. DO NOT APPLY PAVEMENT MARKING PAINT UNTIL LAYOUT, COLORS AND PLACEMENT HAVE BEEN VERIFIED WITH THE ARCHITECT.
3. ALLOW PAVING TO AGE FOR 24 HOURS BEFORE MARKING.
4. SWEEP AND CLEAN SURFACE.
5. APPLY PAINT WITH MECHANICAL EQUIPMENT TO PRODUCE MARKINGS WITH UNIFORM STRAIGHT EDGES. PROVIDE A MINIMUM WET FILM THICKNESS OF 15 MILS.
6. THIS WORK SHALL CONSIST OF FURNISHING AND APPLYING PAINT ON PAVEMENT SURFACES, IN TRAFFIC LANES, PARKING BAYS, AREAS RESTRICTED TO HANDICAPPED PERSONS, CROSSWALKS, AND OTHER DETAIL PAVEMENT MARKINGS, IN ACCORDANCE WITH THE DETAILS SHOWN ON THE DRAWINGS.
7. DETAILS NOT SHOWN SHALL BE IN CONFORMITY WITH THE STATE STANDARDS FOR TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS, AND SIMILAR REQUIREMENTS ESTABLISHED BY THE U.S. DEPARTMENT OF TRANSPORTATION, FEDERAL HIGHWAY ADMINISTRATION.
8. ALL PARKING LOT STRIPING SHALL BE SINGLE LINE 4" WIDE AS PER THE SITE PLANS.
9. PAINT FOR MARKING PAVEMENT SHALL CONFORM TO FEDERAL HIGHWAY MARKING STANDARDS. USE SHERWIN WILLIAMS PROMAR TRAFFIC MARKING PAINT, COLORS TO MATCH THE EXISTING ADJACENT INSTALLATIONS. USE FLAT BLACK, WHITE OR YELLOW, WHERE APPROPRIATE. UNLESS OTHERWISE DIRECTED, USE THE FOLLOWING:

A. BLACKTOP OR BITUMINOUS ASPHALT PAVING: USE WHITE COLOR.

B. PORTLAND CEMENT CONCRETE PAVING: USE YELLOW COLOR.

C. HANDICAPPED ACCESSIBLE PARKING AND ENTRYWAYS: USE WHITE COLOR WITH WHITE STRIPES.

D. PROVIDE PAINTED CURBS AT FIRE LANE DESIGNATIONS PER FIRE MARSHAL REQUIREMENTS.
10. APPLY ALL MARKINGS USING APPROVED MECHANICAL EQUIPMENT (WITH PROVISIONS FOR CONSTANT AGITATION OF PAINT), CAPABLE OF APPLYING THE MARKING WIDTHS AS SHOWN. USE PNEUMATIC SPRAY GUNS FOR HAND APPLICATION OF PAINT. ALL PAINTING EQUIPMENT AND OPERATIONS SHALL BE UNDER THE CONTROL OF EXPERIENCED TECHNICIANS THOROUGHLY FAMILIAR WITH EQUIPMENT AND MATERIALS AND MARKING LAYOUTS.
11. DETAIL PAVEMENT MARKINGS SHALL BE THAT MARKING, EXCLUSIVE OF ACTUAL TRAFFIC LANE MARKING, AT EXIT AND ENTRANCE ISLANDS AND TURNOUTS, ON CURBS, AT CROSSWALKS, AT PARKING BAYS AND AT SUCH OTHER LOCATIONS AS SHOWN. HANDICAPPED PARKING SPACES SHALL BE MARKED BY THE INTERNATIONAL HANDICAPPED SYMBOL AT INDICATED PARKING SPACES. USE A SUITABLE TEMPLATE THAT WILL PROVIDE A PAVEMENT MARKING WITH TRUE, SHARP EDGES AND ENDS.



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SINNERS & SAINTS
19186 FM 2252 - GARDEN RIDGE, TX 78266

GENERAL NOTES

GARDEN RIDGE, TX

2023

REV.	DATE	DESCRIPTION	BY				

INFO.	AREAS						

DRAWN BY: CJL
CHECKED BY:
APPROVED BY:
QA/QC BY:
PROJECT NO.: 23FISCO01
DRAWING NO.:
DATE: APRIL 2023

SCALE : NTS

SHEET

G1.0

2012 Texas Accessibility Standards (TAS) Field Reference Manual - For Reference Only

PLEASE NOTE: These details are referenced from 2012 TAS manual where selected conditions are shown. The details are courtesy of Brister Design Group, and project General Contractor is responsible to comply with all applicable codes to include accessibility requirements.

Surface Slopes Conversion Chart with Section Referenced, TAS 2012

RATIO	PERCENTAGE	RELATIVE MEASUREMENT	SECTIONS WHERE REFERENCED
1:48	2.0%	1/4" per foot (actually 2.083%)	304.2, 305.2, 403.3, 404.2.4.4, 405.3, 405.7.1, 502.4, 503.4, 504.4, 802.1.1, 810.2.4, 810.5.1, 1002.4.2, 1007.3.1, 1009.2.2, 1009.2.3, 1009.4.1, 1009.5.2, 1010.1
1:20	5.0%	19/32" per foot (actually 4.95%), or 5/8" per foot (actually 5.2083%)	106.5, 402.2, 403.3, 403.6, 406.2, 505.1, 505.6, 1007.2, 1007.3.2
1:16	6.25%	3/4" per foot	1008.2.5.1
1:12	8.33%	1" per foot, or 6" of rise per 6' of run	240.2.1, 405.2, Table 405.2, 406.4
1:10	10%	5/16" per 3", or 5/8" per 6", or 1-3/16" per foot (actually 9.9%)	Table 405.2, 406.3
1:8	12.5%	3/8" per 3", or 1-1/2" per foot	Table 405.2, 10002.2
1:4	25%	1/4" per inch, or 1" per 4"	10007.2
1:2	50%	3/8" per 3/4", or 1/2" per inch	303.3, 404.2.5

International Symbol of Accessibility, TAS sec. 703.7.2.1



Texas Accessibility Standards - General Information

THE FOLLOWING SECTION OF DETAILS PROVIDES INFORMATION ON REQUIREMENTS FOR DISABLED ACCESSIBILITY. THE REQUIREMENTS COMBINE MINIMUM REQUIREMENTS OF STATE AND FEDERAL AGENCIES. THE PURPOSE OF THIS SECTION IS TO HELP AVOID INSTALLATION OF MATERIALS ON CONSTRUCTION PROJECTS THAT WOULD LIMIT ACCESSIBILITY. THE SCOPE OF THIS SECTION IS LIMITED AND THE INDIVIDUALS WORKING ON THE PROJECT SHOULD FAMILIARIZE THEMSELVES WITH TEXAS ACCESSIBILITY STANDARDS (TAS) AND AMERICAN WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES (ADAAG) FOR ADDITIONAL INFORMATION AND REQUIREMENTS. COPIES OF THESE DOCUMENTS MAY BE OBTAINED BY CONTACTING THE FOLLOWING:

TAS:
TEXAS DEPT. OF LICENSING - SOUTHWEST DISABILITY AND BUSINESS & REGULATIONS TECHNICAL ASSISTANCE CENTER FOR REGION VI
P.O. BOX 12157 2323 S. SHEPHERD, SUITE 1000
AUSTIN, TEXAS 78711 HOUSTON, TEXAS 77019
TEL: (512) 463-4599 ADA HOTLINE: (800) 949-4232
TDD: (800) 735-2989 TDD: (713) 520-5136 OR (713) 520-0232
FAX: (512) 539-5669 FAX: (713) 520-5785
techinfo@license.state.tx.us

PLEASE NOTE: IN THE EVENT THE INFORMATION ON THE DESIGN SHEETS DOES NOT MEET THE MINIMUM REQUIREMENTS OF THE TAS SECTION, THE INFORMATION SHALL BE PRESENTED TO THE DESIGNER FOR CLARIFICATION PRIOR TO CONSTRUCTION OF SPECIFIC AREA OF WORK.

ELIMINATION OF ARCHITECTURAL BARRIERS - TEXAS GOVERNMENT CODE, CHAPTER 469 UNIFORM FEDERAL ACCESSIBILITY STANDARDS (ADA)

In accordance with accessibility requirements, the following standards shall be included when bidding on projects involving renovations of or new facilities for public accommodation or commercial facilities. Any items not conforming to these or any other standards, codes, or ordinances shall be brought to the attention of the project architect for his interpretation. In the event the information listed in this document conflicts with any portion of the work described in the Contract Documents, the contractor shall notify the Architect. In writing, of his need for a solution to resolve the conflict. The mounting heights indicated are for items that require accessibility by disabled individuals. Where two or more items are grouped in one area (mirrors, sinks, toilets, drinking fountains, urinals, shelves, telephones, etc.) not all items in area have to be mounted at handicap height. Mounting heights of items where more than one is furnished in a particular space shall be determined by the Architect in field. These will not be furnished in a particular space shall be determined by Architect in field, be installed at H.C. height. Contractor to coordinate these installation heights with other materials for neat, trimmed out and finished appearance. Items for disabled individual use shall be mounted at height indicated for grade level / age level as noted.

1. DOORS AND OPENINGS

A. Raised Thresholds and Floor Level Changes at Doorways:

Changes in level at doors shall not exceed one-half inch (1/2") in height and shall be beveled with a slope no greater than 1:2.

B. DOOR HARDWARE

Handles, pulls, latches, locks, and other operating devices on doors shall have a shape that is easy to grasp with one hand and does not require light grasping, light pinching, or twisting to operate. The force required to activate door hardware shall be no greater than five lbs. Acceptable designs include lever-operated mechanisms, push-type mechanisms, and U-shaped handles. When sliding doors are fully open, operating hardware shall be exposed and usable from both sides. Doors to hazardous areas such as loading platforms, boiler rooms, mechanical and electrical rooms, stage, and other areas that might be dangerous to a blind person, shall be made identifiable to the touch by a textured surface on the door handle, pull, or other operating hardware. This textured surface may be made by knurling or roughening (no tape allowed). Such textured surfaces shall not be provided for emergency exit doors or any doors other than those to hazardous areas.

C. DOOR CLOSER

If a door has a closer, then the sweep period of the closer shall be adjusted so that from an open position of: (a) 90 degrees, the time required to move the door to a position of 12 degrees from the latch is 5 seconds minimum. (b) 70 degrees, the door will take at least three seconds to move to a joint 3 inches from the latch, measured to the leading edge of the door.

D. DOOR OPENING FORCE

The maximum force for pushing or pulling open a door shall comply with this paragraph. For hinged doors, the force shall be applied perpendicular to the door at the door opener or 30 inches from the hinged side, whichever is further from the hinge. For sliding or folding doors, the force shall be applied parallel to the door at the door pull or latch.

(1) Exterior hinged doors shall not exceed 8.5 lb./ft. Slight increase in opening force shall be allowed where 8.5 lb./ft. is insufficient to compensate for air pressure differentials.

(2) Sliding doors, folding doors, and interior hinged doors shall not require a force exceeding 5 lb./ft.

(3) Fire doors may be adjusted to meet the minimum opening force allowed by the governing authority or applicable building code.

2. CONTROLS AND OPERATING MECHANISMS

A. All controls and devices shall use mechanical or electrical operating mechanisms which are expected to be operable by occupants, visitors, or other users of a building or facility, shall comply with this subsection. Such mechanisms may include, but are not limited to, thermostats, light switches, alarm activating units, ventilators, electrical outlets, paper towel dispensers, etc.

(1) Clear Floor Space:

A clear floor space that allows a forward or parallel approach by a person using a wheelchair shall be provided at all controls, dispensers, receptacles, and other operable equipment. The space shall never be less than an area 30 x 48 inches.

(2) Height:

The highest operable part of any control, dispenser, receptacle, and other operable equipment shall be no higher from the floor than heights indicated on attached sketches for forward and side approach except where the use of special equipment dictates otherwise. Electrical and communications systems receptacles on walls shall be mounted no less than fifteen inches (15") above the floor.

(3) Operation:

Controls and operating mechanisms shall be operable with one hand and shall not require light grasping, pinching, or severe twisting of the wrist. The force required to activate controls shall be no greater than 5 lb./ft. Hand operated metering faucets shall remain open for 10 seconds minimum.

3. SIGNAGE

A. Wherever signage is used for emergency information or general circulation directions or for the identification of rooms and spaces, at least one unit of signage shall be provided for each function and each room or space that is identified.

(1) Character Proportion:

Letters and numbers on signs shall have a width-to-height ratio between 3:5 and 1:1, and a stroke width-to-height ratio between 1:5 and 1:10, using an upper case "X" for measurement.

(2) Color Contrast:

Characters and symbols shall have contrast with their background.

(3) Tactile Characters and Symbols:

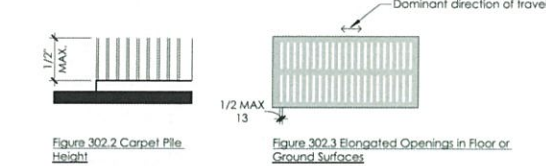
Characters, symbols, or pictographs on signs required to be tactile, shall be raised 1/32 in. minimum. Letters and numbers shall be Sans Serif characters; shall be at least 5/8 in. high, but should be no higher than 2 in.; and shall be proportioned in accordance with subparagraph 3.A.1 above.

(4) Mounting Height and Location:

Room identification signs shall be mounted on the wall surface on the latch (strike) side of doors shall be 60 in. (60") above the finish floor to the centerline of the sign and 8 in. (8") max. from the outside edge of the door frame.

TAS CHAPTER 3: BUILDING BLOCKS

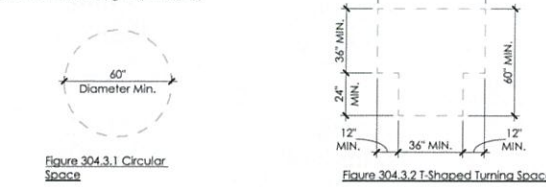
302. Floor or Ground Surfaces



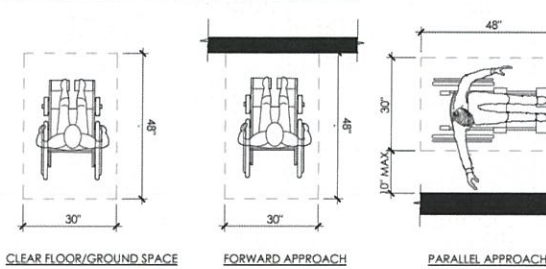
303. Changes in Level



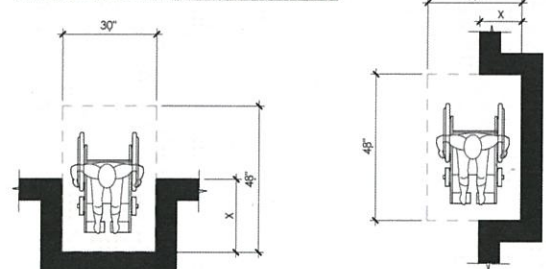
304. Turning Space



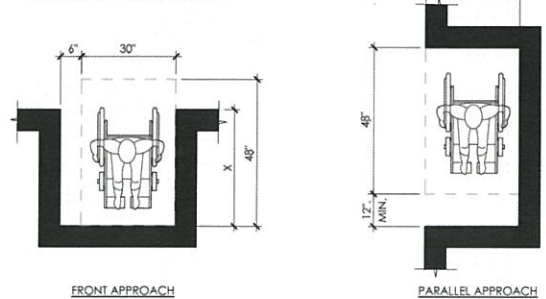
305. Clear Floor or Ground Space



Clear Floor Spaces in Alcoves



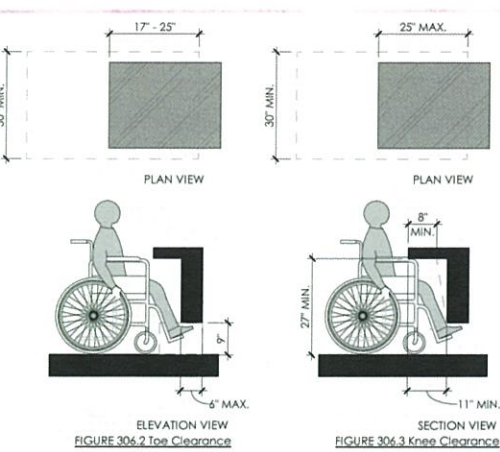
NOTE:
1. X IS LESS THAN OR EQUAL TO 24".
2. IF X IS GREATER THAN 24", THEN AN ADDITIONAL MANEUVERING CLEARANCE OF 6" SHALL BE PROVIDED AS SHOWN BELOW



FRONT APPROACH

PARALLEL APPROACH

306. Knee and Toe Clearance



307. Protruding Objects

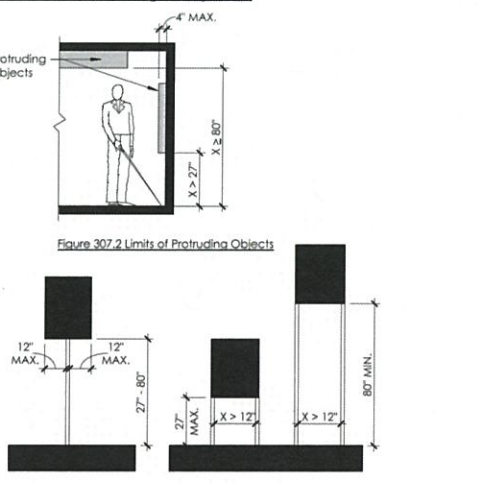
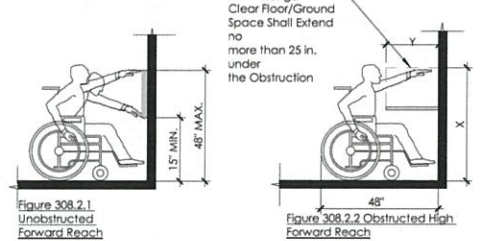


Figure 307.2 Limits of Protruding Objects

Figure 307.3 Post-Mounted Protruding Objects

308. Reach Ranges



Please Note:
1. WHEN Y < 20", THEN X SHALL BE 48" MAX.
2. WHEN Y IS 20" TO 25", THEN X SHALL BE 44" MAX.

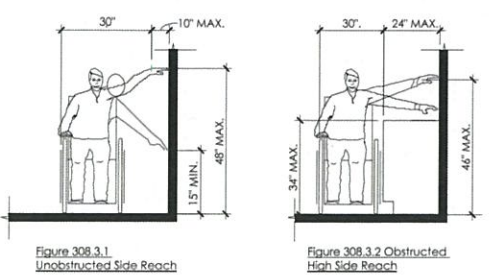


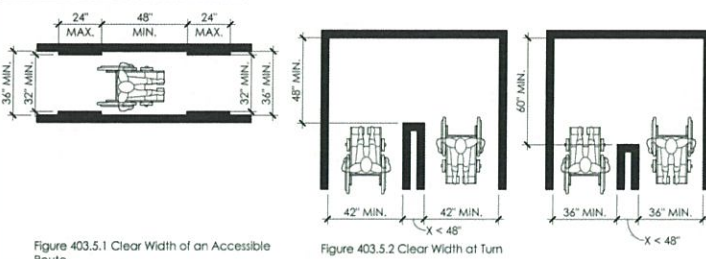
Figure 308.3.1 Unobstructed Side Reach

Figure 308.3.2 Obstructed High Side Reach

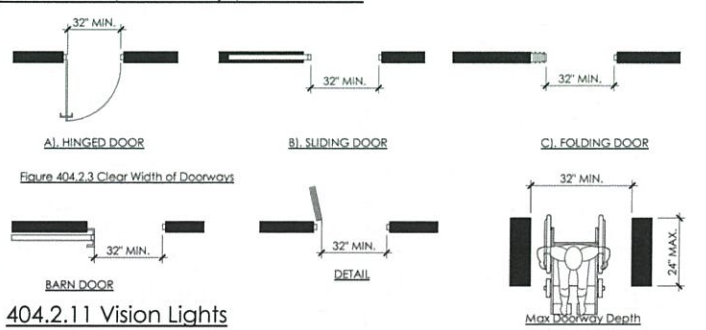
REACH RANGES				
Forward or Side Reach	Ages 3 and 4	Ages 5 through 8	Ages 9 through 12	Adults
High (max.)	36 in	40 in	44 in	Ref. Figures
High (max.)	20 in	18 in	16 in	Ref. Figures

TAS CHAPTER 4: ACCESSIBLE ROUTES

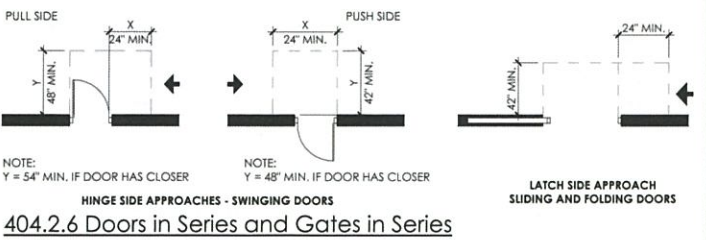
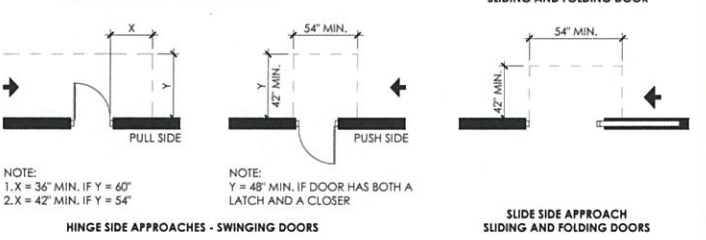
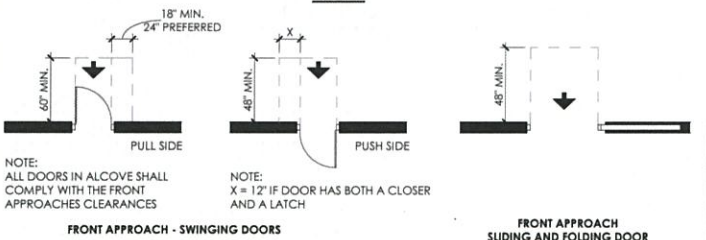
403. Walking Surfaces



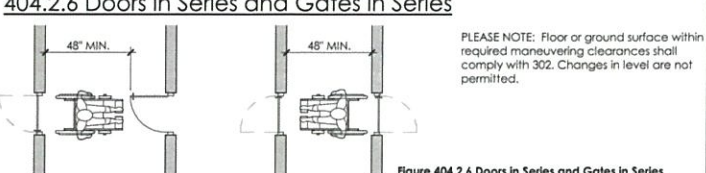
404. Doors, Doorways, and Gates



404.2.1 Vision Lights



404.2.6 Doors in Series and Gates in Series



PLEASE NOTE: Floor or ground surface within required maneuvering clearances shall comply with 302. Changes in level are not permitted.



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19186 FM 2252 - GARDEN RIDGE, TX 78266
SINNERS & SAINTS
ADA DETAILS
GARDEN RIDGE, TX

REV.	DATE	DESCRIPTION	BY

DRAWN BY: C.J.L.
CHECKED BY:
APPROVED BY:
QA/QC BY:
PROJECT NO.: 23FISC001
DRAWING NO.:
DATE: APRIL 2023
SCALE: NTS
SHEET

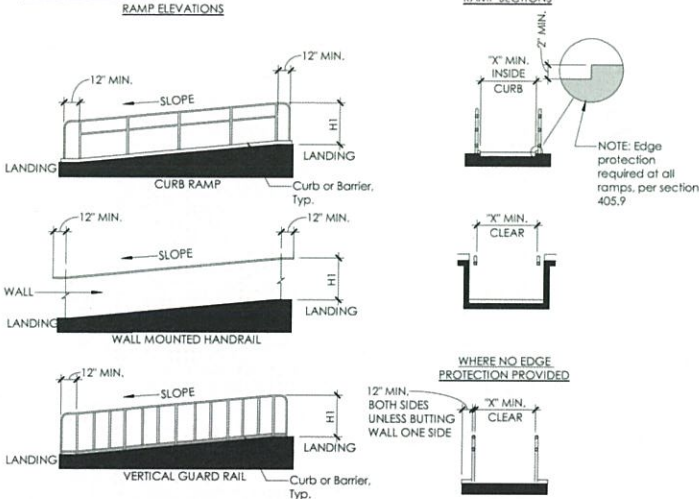
G2.0

2012 Texas Accessibility Standards (TAS) Field Reference Manual - For Reference Only

PLEASE NOTE: These details are referenced from 2012 TAS manual where selected conditions are shown. The details are courtesy of Brister Design Group, and project General Contractor is responsible to comply with all applicable codes to include accessibility requirements.

TAS CHAPTER 4: ACCESSIBLE ROUTES

405. Ramps

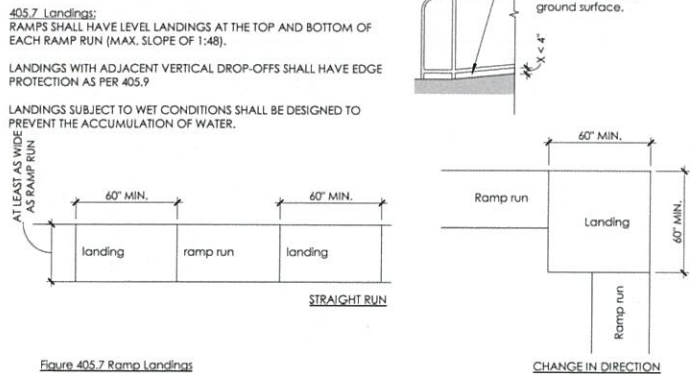


NOTES ON SECTION:
1. X = 36" MIN. IF RAMP IS LESS THAN 30' IN LENGTH.
2. X = 44" MIN. IF RAMP IS GREATER THAN 30' IN LENGTH.

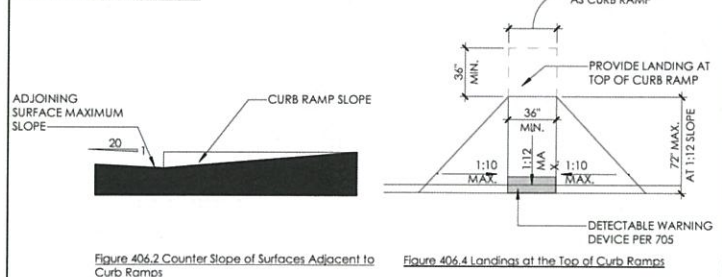
NOTES ON HANDRAILS:
1. "H" IS HANDRAIL HEIGHT TO TOP.
1a. "H" SHALL BE BETWEEN 34" AND 38" MAXIMUM FOR ALL ADULT USES.
1b. AT BUILDINGS WITH CHILD OCCUPANTS, PROVIDE A SECOND HANDRAIL MOUNTED AT 28" AFF. PROVIDE A MINIMUM OF 9" CLEARANCE BETWEEN THE ADULT AND CHILD HANDRAILS (ADJUST HEIGHT OF ADULT HANDRAIL AS REQUIRED).
2. Curbs or barriers required that prevent passage of 4" diameter sphere anywhere within 4' of the finished floor or ground surface.

Slope	Max. Rise
Steeper than 1:10 but not steeper than 1:8	3 inches
Steeper than 1:12 but not steeper than 1:10	6 inches

CROSS SLOPE SHALL NOT EXCEED 1:48



406. Curb Ramps

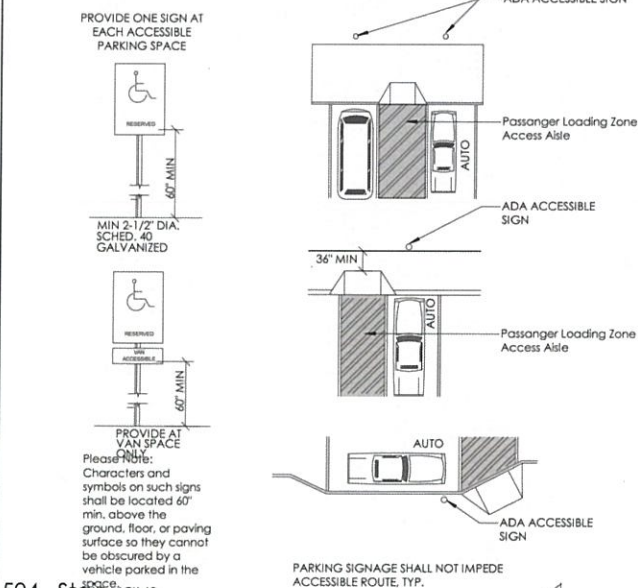
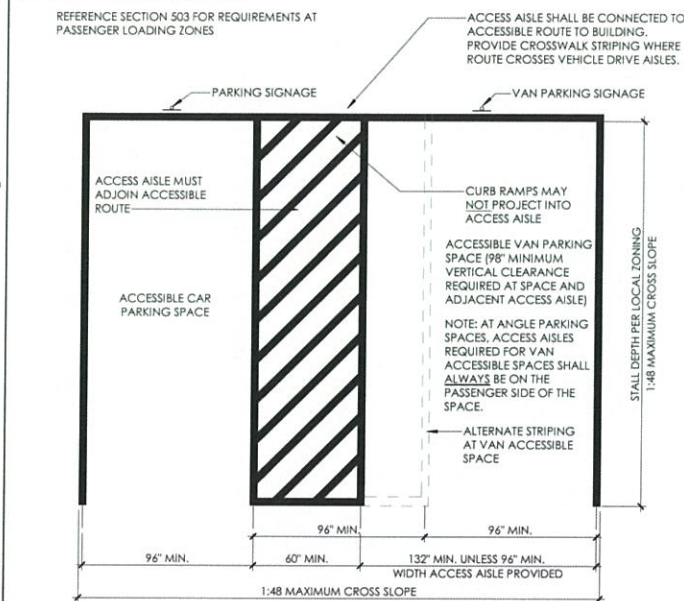


407. Elevators

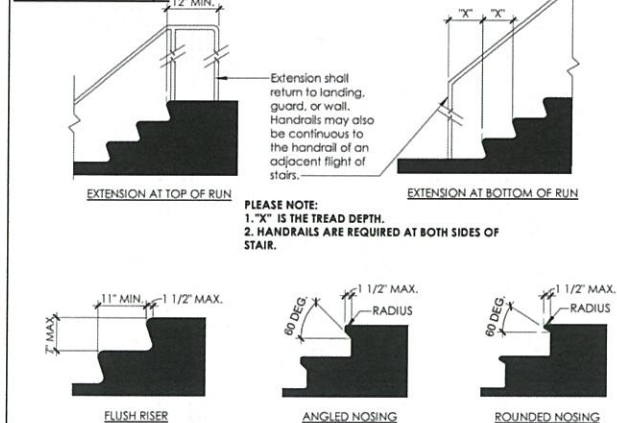
407.1 General. Elevators shall comply with 407 and with ASME A17.1. They shall be passenger elevators as classified by ASME A17.1. Elevator operation shall be automatic.

TAS CHAPTER 5: GEN. SITE & BUILDING ELEMENTS

502. Parking Spaces

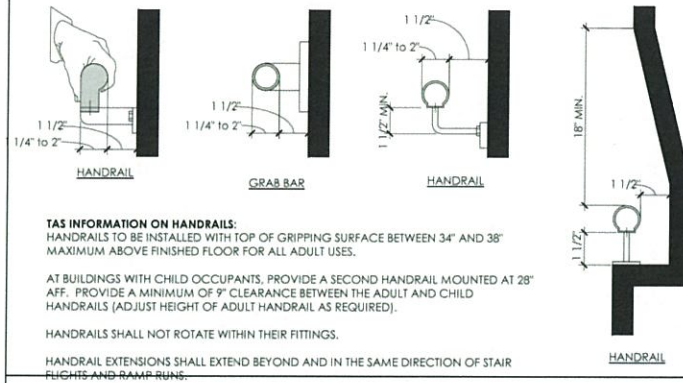


504. Stairways



505.3 Continuity. Handrails shall be continuous within the full length of each stair flight or ramp run.

Handrail & Grab Bars



TAS INFORMATION ON HANDRAILS:
HANDRAILS TO BE INSTALLED WITH TOP OF GRIPPING SURFACE BETWEEN 34" AND 38" MAXIMUM ABOVE FINISHED FLOOR FOR ALL ADULT USES.

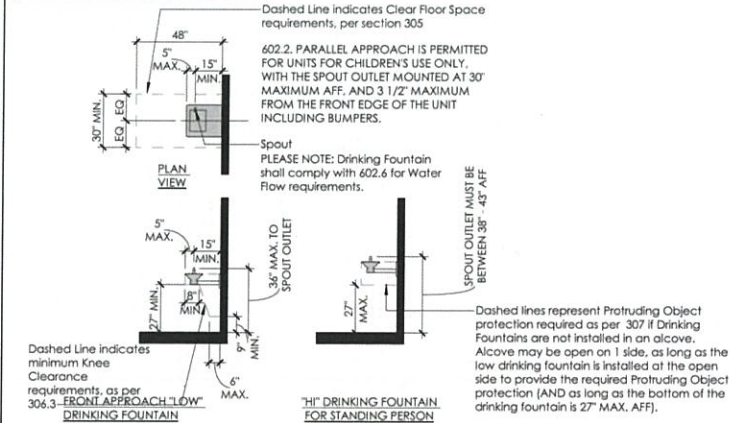
AT BUILDINGS WITH CHILD OCCUPANTS, PROVIDE A SECOND HANDRAIL MOUNTED AT 28" AFF. PROVIDE A MINIMUM OF 9" CLEARANCE BETWEEN THE ADULT AND CHILD HANDRAILS (ADJUST HEIGHT OF ADULT HANDRAIL AS REQUIRED).

HANDRAILS SHALL NOT ROTATE WITHIN THEIR FITTINGS.

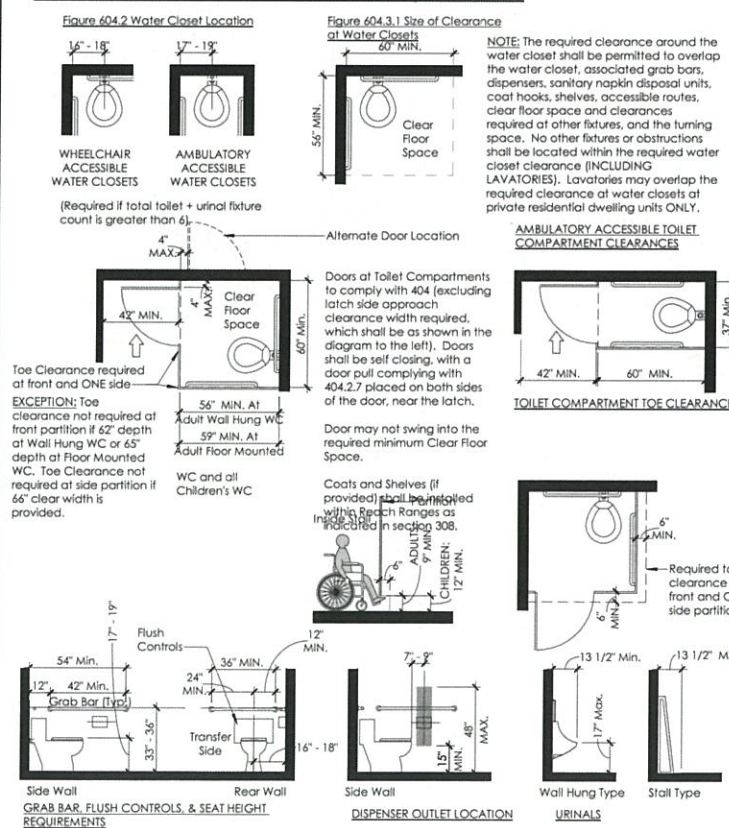
HANDRAIL EXTENSIONS SHALL EXTEND BEYOND AND IN THE SAME DIRECTION OF STAIR FLIGHTS AND RAMP RUNS.

TAS CHAPTER 6: PLUMBING ELEMENTS & FACILITIES

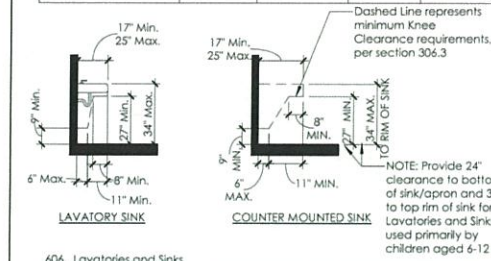
602. Drinking Fountains



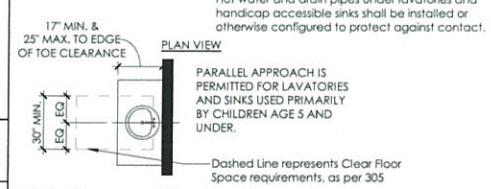
604. Water Closets and Toilet Compartments



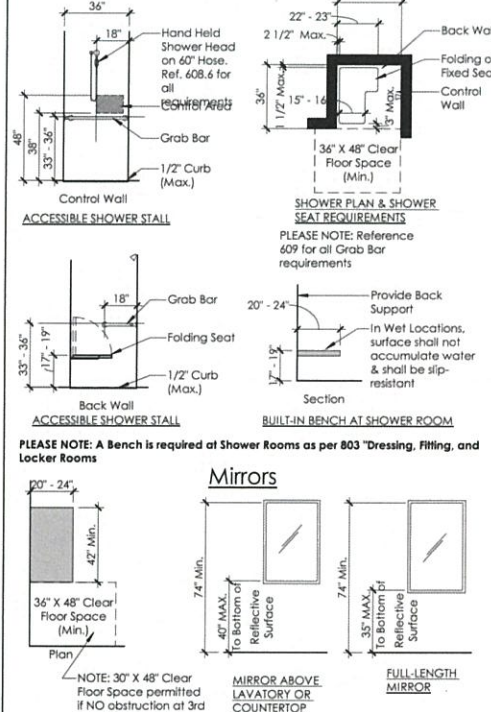
GRADE LEVEL/AGE	WC CENTERLINE	TOILET SEAT HEIGHT	GRAB BAR HEIGHT	DISPENSER HEIGHT
Ages 3 and 4	12"	11" - 12"	18" - 20"	14"
Ages 5 through 8	12" - 15"	12" - 15"	20" - 25"	14" - 17"
Ages 9 through 12	15" - 18"	15" - 17"	25" - 27"	17" - 19"



606. Lavatories and Sinks



607. Shower Compartments

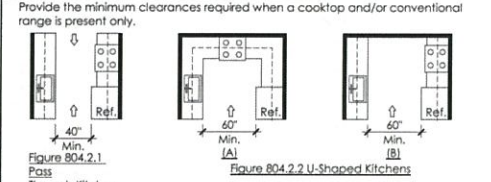


701. Communication Elements & Features

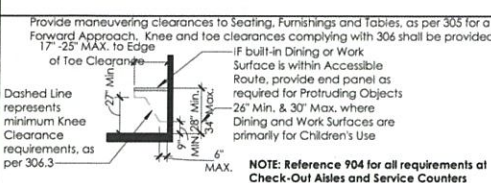
701. Reference to section 701-703.2.4 for information on Accessible signage.

TAS CHAPTER 8: SPECIAL ROOMS, SPACES & ELEMENTS

804. Kitchens & Kitchenettes



TAS CHAPTER 9: BUILT-IN ELEMENTS



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SINNERS & SAINTS
10186 FM 2252 - GARDEN RIDGE, TX 78266

ADA DETAILS

GARDEN RIDGE, TX

2023

REV.	DATE	DESCRIPTION	BY

AREAS

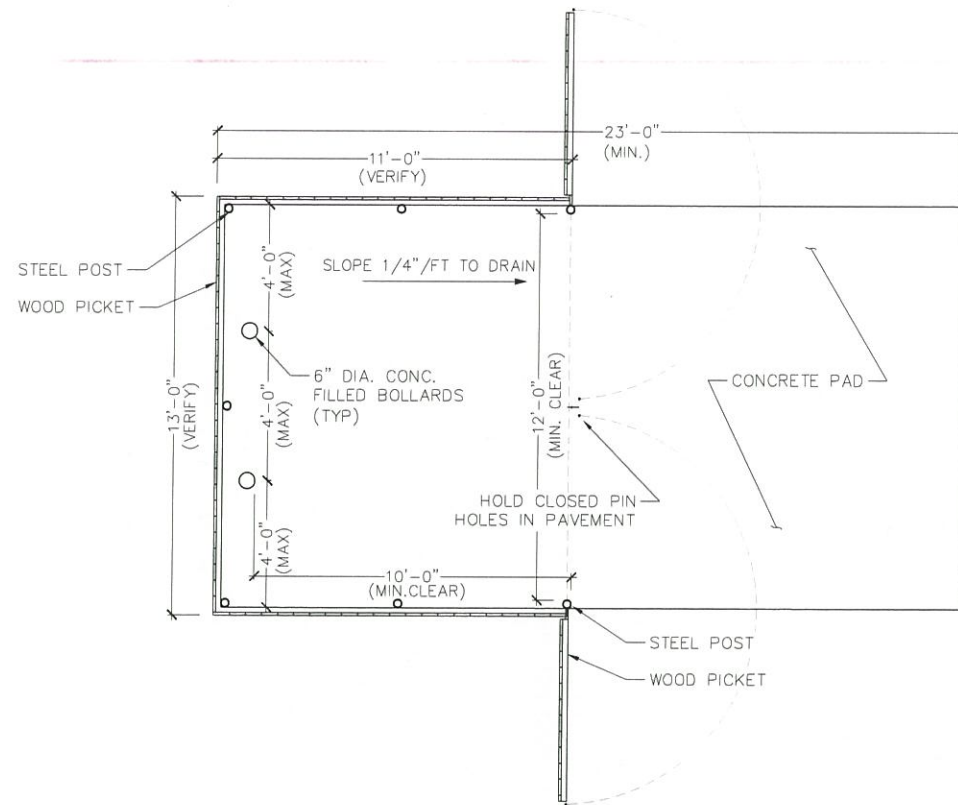
INFO.
DRAWN BY: C.J.L.
CHECKED BY:
APPROVED BY:
QA/QC BY:
PROJECT NO.: 23FIS0001
DRAWING NO.:
DATE: APRIL 2023

SCALE: 1/8" = 1'-0"

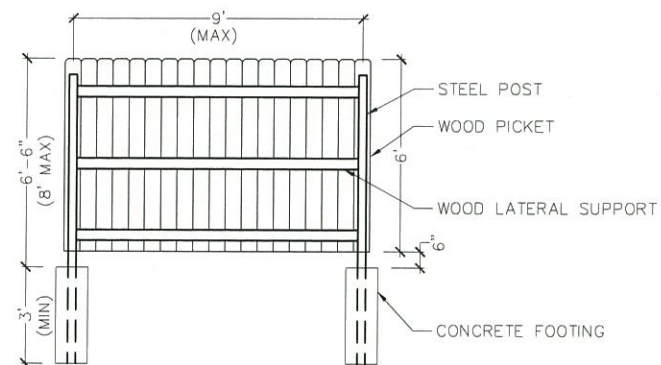
SHEET

G3.0

USER: claj
DATE: Apr 21, 2023 1:46pm XREFS:



DUMPSTER ENCLOSURE
PLAN VIEW
NTS



DUMPSTER ENCLOSURE
WOOD FENCING PANEL
NTS

NOTE:
1. WOOD PRIVACY FENCE MATCHING
DUMPSTER DETAILS WILL BE USED IF
BUFFER WALL AGREEMENT IS SUBMITTED.



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SINNERS & SAINTS
19186 FM 2252 - GARDEN RIDGE, TX 78266

MISCELLANEOUS DETAILS

2023

GARDEN RIDGE, TX

REV.	DATE	DESCRIPTION	BY

INFO.
DRAWN BY: C.J.L.
CHECKED BY:
APPROVED BY:
QA/QC BY:
PROJECT NO.: 23FISC001
DRAWING NO.:
DATE: APRIL 2023

SCALE: 1/2" = 1'
SHEET

G4.0

BEING 1.41 ACRE TRACT OF LAND SITUATED IN THE G.M. DOLSON SURVEY NO. 96, COMAL COUNTY, TEXAS.
BEING BEING ALL OF A CALLED 1.40 ACRE TRACT, RECORDED IN DOCUMENT NO. 201706038380, OFFICIAL
PUBLIC RECORDS, COMAL COUNTY TEXAS

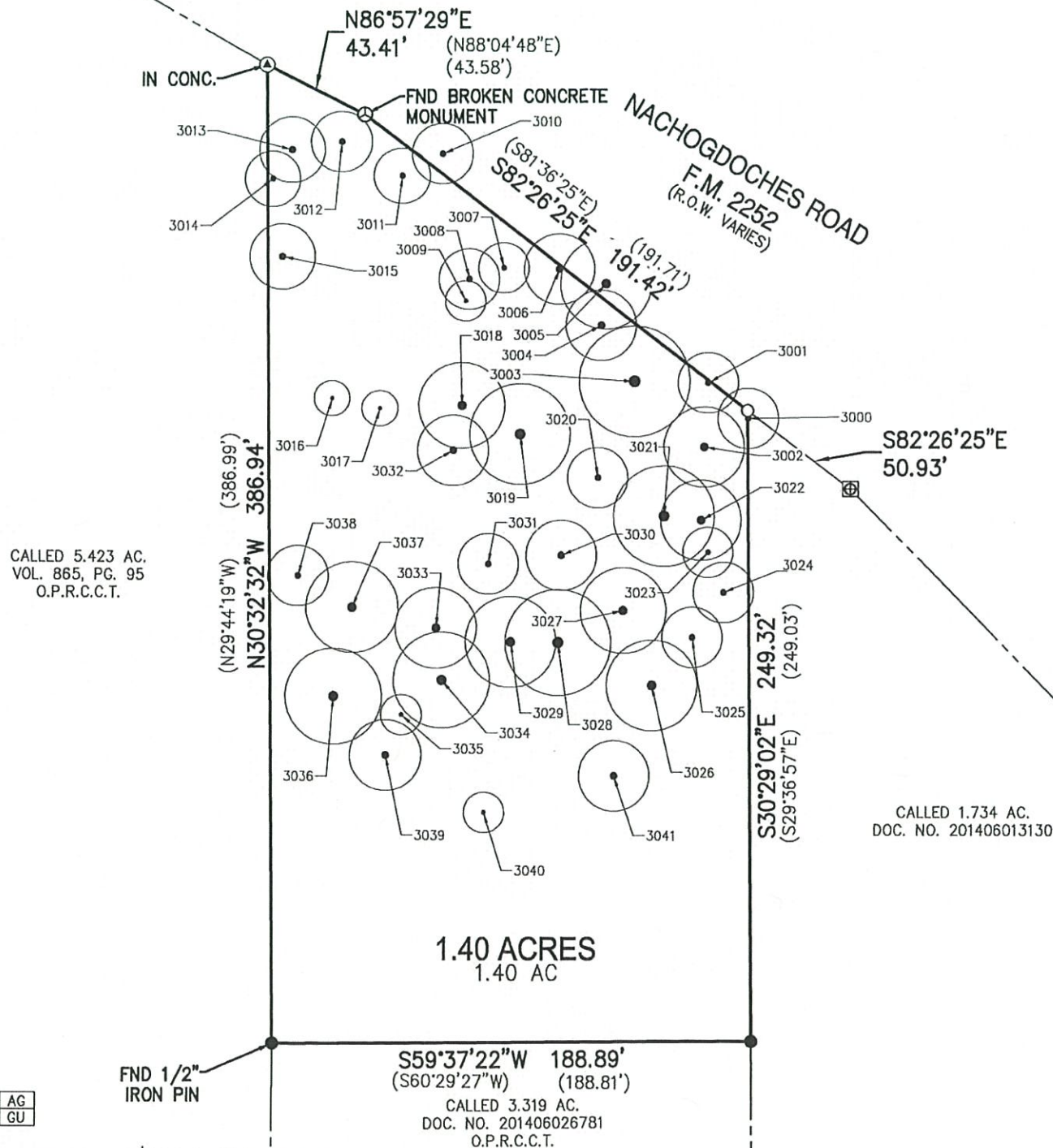
THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT.

THIS SURVEYOR HAS NOT CONDUCTED A TITLE SEARCH TO DEPICT OTHER MATTERS OF RECORD, SUCH AS EASEMENTS, SETBACKS, RESTRICTIONS OR
OTHER ENCUMBRANCES THAT MAY AFFECT THIS PROPERTY.

NO ATTEMPT HAS BEEN MADE TO LOCATE ANY IMPROVEMENTS, EASEMENTS, OR RIGHTS OF WAY NOT SHOWN HEREON.

BEARINGS SHOWN HEREON ARE BASED ON THE TEXAS COORDINATE SYSTEM, SOUTH CENTRAL ZONE (4204), NAD 83.

TREE SYMBOLS SHOWN HEREON ONLY REPRESENT THE LOCATION OF THE TREE. THE ACTUAL DRIP-LINE OF THE TREE(S) ARE NOT REPRESENTED ON
THIS SURVEY. TREES LOCATED BY SURVEY CREW, NOT ARBORIST.



Tree Table	
Point #	Description
3000	12" ELM
3001	12" 6 OAK
3002	16" ELM
3003	22" OAK IN DECLINE
3004	14" ELM
3005	18" CEDAR
3006	14" CEDAR
3007	10" ELM
3008	12" ELM
3009	8" ELM
3010	12" CEDAR
3011	11" ELM
3012	12" 7 CEDAR
3013	13" CEDAR

Tree Table	
Point #	Description
3014	11" ELM
3015	13" ELM
3016	7" OAK
3017	7" OAK
3018	17" CEDAR
3019	20" CEDAR
3020	12" ELM
3021	20" CEDAR
3022	16" CEDAR
3023	10" ELM
3024	12" CEDAR
3025	12" OAK
3026	18" CEDAR
3027	17" CEDAR

Tree Table	
Point #	Description
3028	21" CEDAR
3029	18" CEDAR
3030	14" CEDAR
3031	12" CEDAR
3032	14" CEDAR
3033	16" CEDAR
3034	19" CEDAR
3035	8" OAK
3036	19" CEDAR
3037	18" OAK IN DECLINE
3038	12" ELM
3039	14" 6 CEDAR
3040	8" ELM
3041	14" ELM

- LEGEND:
- = FND 1/2" IRON PIN
PLASTIC CAP STAMPED "HMT"
UNLESS OTHERWISE NOTED
 - ⊕ = TXDOT DISK
 - ⊙ = FND PK NAIL
 - ⊗ = CONCRETE MONUMENT
 - = SET 1/2" IRON PIN W/
PLASTIC CAP STAMPED "HMT"
 - B.L. = BUILDING SETBACK LINE
 - U.E. = UTILITY EASEMENT
 - D.E. = DRAINAGE EASEMENT
 - R.O.W. = RIGHT-OF-WAY
 - () = RECORD CALLS



SCALE: 1"=60'



19186 FM 2252
GARDEN RIDGE, TEXAS

THIS SURVEY IS CERTIFIED TO:
ERIC FISCHER

I HEREBY CERTIFY THAT THIS SURVEY WAS MADE ON THE GROUND UNDER MY
SUPERVISION

THIS 28TH DAY OF MARCH 2022

DOUGLAS B. COTTLE
REGISTERED PROFESSIONAL LAND SURVEYOR NO. 6149

22-0275

DRAWN BY: AG
FIELD CREW: GU

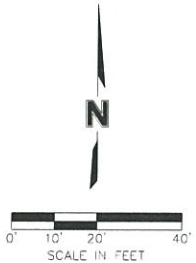


290 S. CASTELL AVE., STE. 100
NEW BRAUNFELS, TX 78130
TBPE FIRM F-10961
TBPLS FIRM 10153600

PROPOSED PERVIOUS COVER		
DESCRIPTION	SQUARE FOOTAGE	ACREAGE
NATIVE GRASS/FOLIAGE	80,835.20	1.86
PLAYGROUND	2,500	0.06
TOTAL	83,335.20	1.91

PROPOSED IMPERVIOUS COVER		
DESCRIPTION	SQUARE FOOTAGE	ACREAGE
PHASE 1 - BUILDING	6,975	0.16
PHASE 2 - BUILDING	4,000	0.09
DRIVEWAY/PARKING	33,940	0.78
STAGE	400	0.01
FOOD TRUCK DRIVE	2,655	0.06
PICKLEBALL COURTS	3,500	0.08
SPLASH PAD	300	0.01
TOTAL	51,770	1.19

PROPOSED IMPERVIOUS COVER %	
DESCRIPTION	ACREAGE
EXISTING PROPERTY	3.10
TOTAL IMPERVIOUS COVER	1.19
PERCENTAGE (%)	38%



LEGEND	
TRAFFIC FLOW ARROW	→
PROPOSED STRUCTURE	[Blue filled polygon]
PROPOSED PICKLEBALL COURTS	[Hatched rectangle]
PROPOSED PLAYGROUND	[Dotted rectangle]
PROPOSED PARKING AREA	[White rectangle with black border]
PROPOSED STAGE AREA	[Hatched rectangle]
EXISTING CONTOURS	882
EXISTING TREES	3704
PROPOSED WATER LINE	W
PROPOSED WASTEWATER LINE	WW
PROPOSED FIRE HYDRANT	[Fire hydrant symbol]
PROPOSED EASEMENT	[Dashed line]



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210-710-2667
claljas20@gmail.com

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19186 FM 2252 - GARDEN RIDGE, TX 78266

PROPOSED SITE PLAN

GARDEN RIDGE, TX

2023

REVISIONS	
REV.	DESCRIPTION

AREAS	

INFO.	
DRAWN BY: C.J.L.	CHECKED BY:
APPROVED BY:	QA/QC BY:
PROJECT NO.: 23SER001	DRAWING NO.:
DATE: JAN 2023	

SCALE: 1" = 20'

SHEET

C1.0

NOTE:
1. CONTRACTOR TO VERIFY ALL DIMENSIONS AND EXISTING UTILITIES.



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SINNERS & SAINTS
19186 FM 2252 - GARDEN RIDGE, TX 78266

FLOOR PLANS

GARDEN RIDGE, TX

[illegible]

AREAS	
INFO.	DRAWN BY: CJL
	CHECKED BY:
	APPROVED BY:
	QA/QC BY:
	PROJECT NO.: 23FISC001
	DRAWING NO.:
DATE: APRIL 2023	

SCALE : $\frac{1}{4}" = 1'$

SHEET

A1.0



[illegible]

AREAS	
INFO.	DRAWN BY: CJL
	CHECKED BY:
	APPROVED BY:
	QA/QC BY:
	PROJECT NO.: 23FISC001
	DRAWING NO:
	DATE: APRIL 2023

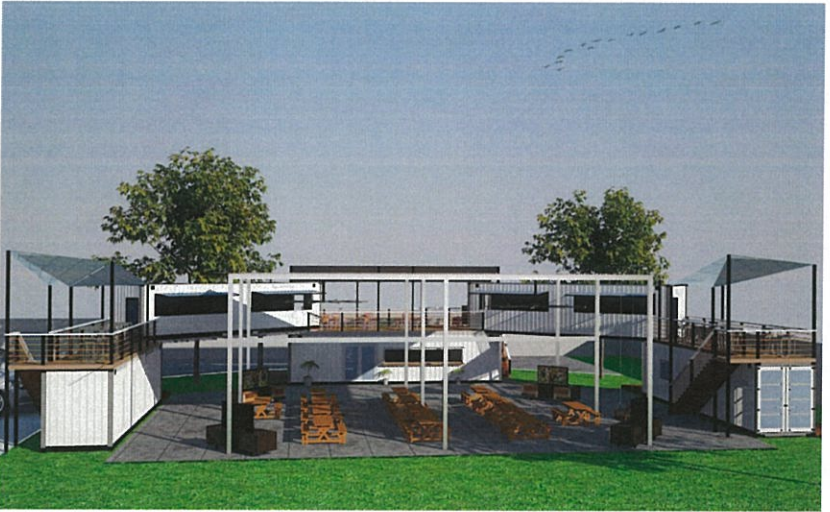
SCALE : $\frac{1}{4}" = 1'$

SHEET

A1.1



Front of Building Rendering in Light Colors



Back of Building/Courtyard Rendering in Light Colors



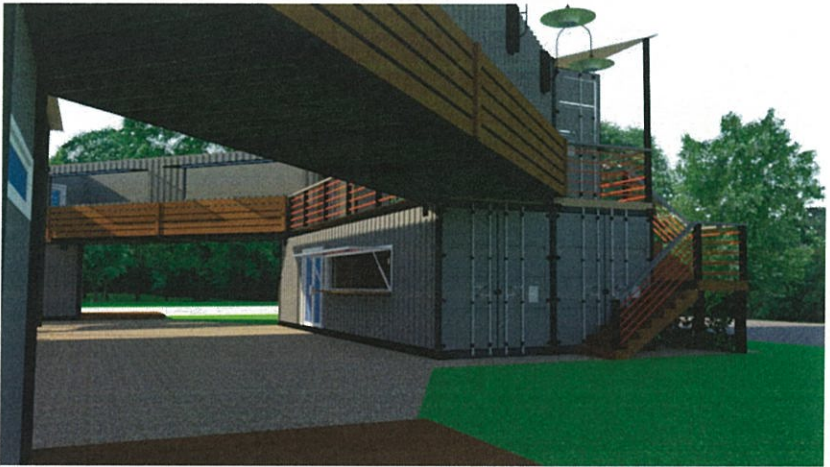
Courtyard Rendering in Dark Colors



View From Main Center Upper Deck



View From One of the Side Upper Decks



Entrance to Top Deck



Courtyard Rendering in Dark Colors



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NEW BRAUNFELS, TX 78130
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RENDERINGS

GARDEN RIDGE, TX

2023

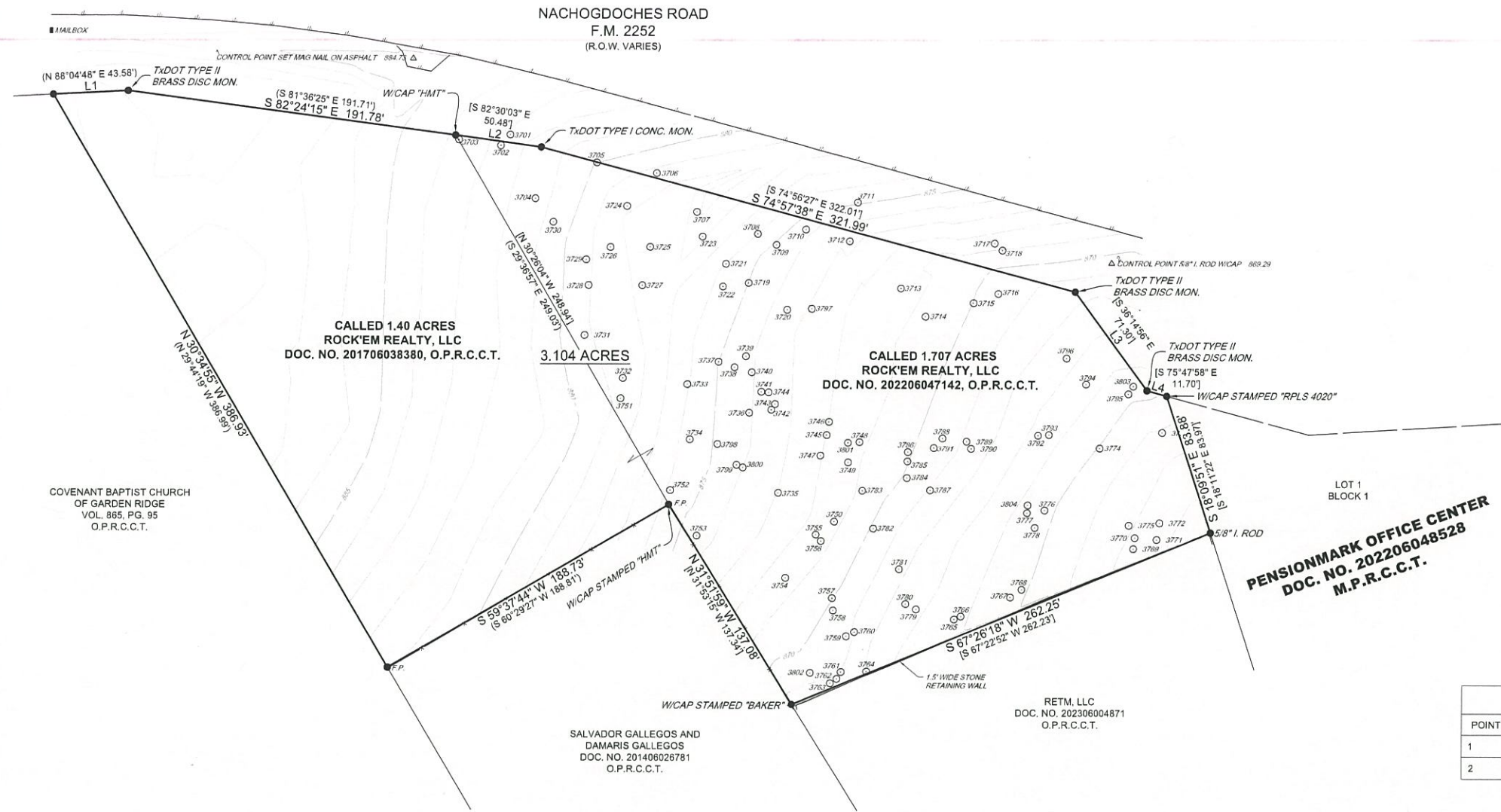
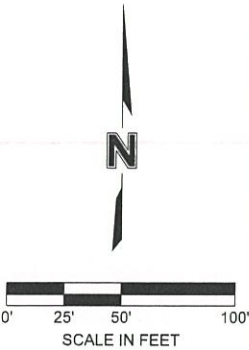
REV.	DATE	DESCRIPTION	BY

AREAS

DRAWN BY: C.J.
CHECKED BY:
APPROVED BY:
QA/QC BY:
PROJECT NO.: 23PISC001
DRAWING NO.:
DATE: APRIL 2023

SCALE : 1/4" = 1'
SHEET

A2.0



LEGEND	
CONC.	CONCRETE
DOC.	DOCUMENT
F.M.	FARM-TO-MARKET
F.P.	FENCE POST
I.	IRON
MON.	MONUMENT
M.P.R.C.C.T.	MAP AND PLAT OF COMAL COUNTY, TEXAS
NO.	NUMBER
O.P.R.C.C.T.	OFFICIAL PUBLIC RECORDS OF COMAL COUNTY, TEXAS
R.O.W.	RIGHT-OF-WAY
FOUND 1/2-INCH ROD	(UNLESS OTHERWISE NOTED)
HOG-WIRE FENCE	
EDGE OF ASPHALT	
RECORD INFORMATION PER	
DOC. NO. 201706038380, O.P.R.C.C.T.	
RECORD INFORMATION PER	
DOC. NO. 202206047142, O.P.R.C.C.T.	

LINE TABLE		
NUMBER	BEARING	DISTANCE
L1	N 86°59'27" E	43.43'
L2	S 82°23'33" E	50.53'
L3	S 36°15'22" E	71.12'
L4	S 74°47'27" E	11.93'

POINT TABLE (GRID)				
POINT NO.	NORTHING	EASTING	ELEVATION	DESCRIPTION
1	13,774,254.99	2,190,762.07	884.73'	CONTROL POINT SET MAG NAIL ON ASPHALT
2	13,774,136.71	2,191,169.13	869.29'	CONTROL POINT 5/8" I. ROD W/CAP

GENERAL NOTES:

- BEARING ORIENTATION IS BASED UPON THE TEXAS COORDINATE SYSTEM, SOUTH CENTRAL ZONE 4204, NORTH AMERICAN DATUM OF 1983 (NAD 83), 2011 ADJUSTMENT, EPOCH 2010.00. MEASUREMENTS ARE IN U.S. SURVEY FEET.
- VERTICAL DATUM IS BASED UPON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) AND ELEVATIONS WERE ESTABLISHED USING THE ALLTERRA RTK NETWORK, GEOID 18.
- THIS SURVEY WAS DONE WITHOUT THE BENEFIT OF A TITLE COMMITMENT. THE SURVEYOR HAS NOT ABSTRACTED THE SUBJECT PROPERTY, NOR MADE ANY INDEPENDENT INVESTIGATION OR SEARCH FOR EASEMENTS OF RECORD, RESTRICTIVE COVENANTS OR ANY OTHER ENCUMBRANCES THAT MAY AFFECT THE SUBJECT PROPERTY.
- PROPERTY LIES IN UNSHADED ZONE "X", AS DELINEATED ON THE FLOOD INSURANCE RATE MAP FOR COMAL COUNTY, TEXAS AND INCORPORATED AREAS, MAP NO. 48091C0485F, MAP DATED SEPTEMBER 02, 2009.
- SURVEYOR WAS CONTRACTED TO LOCATE NON-CEDAR TREES GREATER THAN OR EQUAL TO 8-INCHES ON THE CALLED 1.707 ACRE TRACT ONLY. SURVEYOR DOES NOT MAKE ANY GUARANTEE AS TO THE TYPES OF TREES LISTED HEREON. IF CRITICAL, IT MAY BE PRUDENT TO HAVE AN ARBORIST VERIFY THIS INFORMATION.
- FIELD WORK WAS COMPLETED ON MARCH 23, 2023.

I, ODILON BERNAL III, A REGISTERED PROFESSIONAL LAND SURVEYOR OF THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THIS SURVEY SUBSTANTIALLY COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS AS PROMULGATED BY THE TEXAS BOARD OF PROFESSIONAL ENGINEERS AND LAND SURVEYORS.

DATED THIS THE 29TH DAY OF MARCH, 2023.



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TBPELS FIRM NO. 10194657

BOUNDARY VERIFICATION, TREE &
TOPOGRAPHIC SURVEY OF
3.104 ACRES OF LAND
BEING ALL OF A CALLED 1.40 ACRES
AND A CALLED 1.707 ACRES SITUATED
IN THE GEORGE M.DOLSON
SURVEY NO. 96, ABSTRACT NO. 120,
COMAL COUNTY, TEXAS

SCALE:	JOB NO.:	DATE:	SHEET:
1"=50'	23.0072	03/29/2023	1 OF 1